

NOTES

1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY DESCRIPTIONS WERE TAKEN FROM MECKLENBURG COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OR FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF CITY OF CHARLOTTE. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NCGS MONUMENT FOUND WITHIN 2000 FEET.
9. THIS PROPERTY MAY BE SUBJECT TO MAXIMUM IMPERVIOUS AREA REQUIREMENTS. BEFORE MAKING ANY RENOVATIONS OR REPAIRS TO THIS PROPERTY CHECK WITH THE LOCAL PLANNING OR ZONING DEPARTMENT FOR ANY RESTRICTIONS OR REGULATIONS IN PLACE.
10. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATIONS OF ABOVE GROUND APPURTENANCES OR PAINT MARKS BY UTILITY LOCATOR. UNDERGROUND UTILITIES NOT SHOWN HEREON MAY EXIST.
11. CONTOUR INTERVAL- 1 FOOT
12. VERTICAL DATUM- NAVD 88'
13. 9' S.U.E. ON DOWN AVENUE TAKEN FROM DEED BOOK 15871, PAGE 784.
14. PROPERTY MAYBE SUBJECT TO A 30' POST CONSTRUCTION BUFFER AS SHOWN ON MECKLENBURG COUNTY GIS, VERIFY FROM CHARLOTTE STORM WATER BEFORE DESIGN.
15. TOTAL AREA- 0.243 ACRES
NO OBSERVED EVIDENCE OF CEMETERIES OR BURIAL GROUNDS NOR WERE ANY REPORTED TO THIS FIRM.
16. NO PROPOSED/OBSERVED CHANGES IN STREET RIGHT OF WAYS. NOR WERE ANY REPORTED TO THIS FIRM
17. NO OBSERVED EVIDENCE OF SITE USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
18. FIELD WORK COMPLETED IN JUNE, 2020.
19. THIS LOT DOES NOT MEET THE CURRENT MINIMUM STANDARDS TO BE SUBDIVIDE INTO TWO LOTS. THE PROPOSED LINE SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND CAROLINA GEOMATICS DOES NOT RECOMMEND SUBDIVIDING THIS LOT BY DEED THAT WOULD RESULT IN A ILLLEGAL SUBDIVISION UNTIL ALL ZONING REQUIREMENTS ARE MET FOR SUBDIVISION.
20. SUBJECT PROPERTY HAS BEEN REZONED TO RB- PER REZONING PETITION #RZP-2021-182

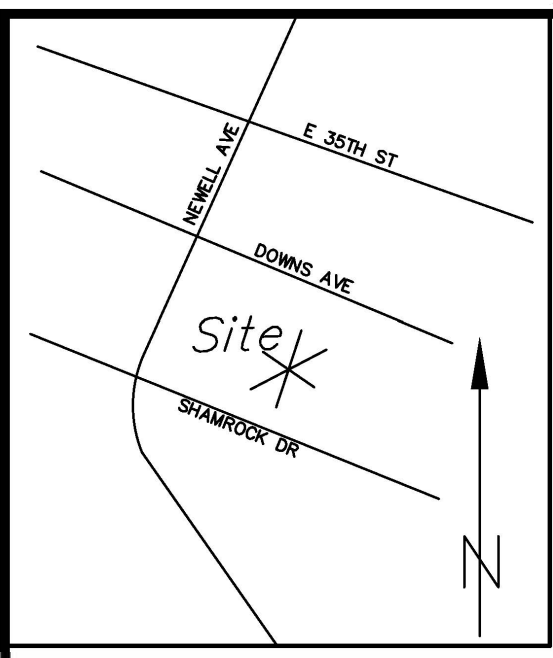
CONDITIONAL NOTES

1. GENERAL PROVISIONS
 - a. THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PETITION FILED BY BIRDCCO, INC. (THE "PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF TWO SINGLE-FAMILY DETACHED HOMES ON AN APPROXIMATELY .243 ACRE SITE LOCATED ON 1521 SHAMROCK DRIVE, CHARLOTTE, NC 28205, MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (THE "SITE") IS COMPRISED OF TAX PARCEL NUMBER 093-098-16.
 - b. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS, AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
 - c. UNLESS THE REZONING PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE UR-1 ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
2. PERMITTED USES
 - a. THE SITE MAY BE DEVOTED SOLELY FOR UP TO TWO (2) SINGLE-FAMILY DETACHED DWELLING UNITS AND ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE PERMITTED IN THE UR-1 ZONING DISTRICT.
3. TRANSPORTATION
 - a. RESERVED
4. ARCHITECTURAL AND LANDSCAPING STANDARDS ENVIRONMENTAL FEATURES
 - a. RESERVED
5. LIGHTING
 - a. LIGHTING OF THE SITE SHALL CONFORM TO THE STANDARDS OF THE CITY OF CHARLOTTE ZONING ORDINANCES.

REZONING SITE PLAN

LAND TITLE SURVEY AT PROPERTY KNOWN AS
 PARCEL ID# 093-098-16
 LOT 6, BLOCK 5
 DAVIS PARK, MB 3 PG 293
 DB 34931 PG 421
 CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
 FOR: BIRDCCO, INC

Job No.:	Drawn:	Checked:	Date:
099-20-142	AVD/CLK	CLK	06/09/21



VICINITY MAP
(Not to Scale)

DEVELOPMENT DATA TABLE

SITE ACREAGE: .243 ACRES
 TAX PARCEL ID: 093-098-16
 EXISTING ZONING: RB
 PROPOSED ZONING: UR-1
 EXISTING USE: SINGLE-FAMILY RESIDENCE
 PROPOSED USE: SINGLE-FAMILY RESIDENCE

FRONT SET BACK: 20 FEET
 SIDE YARD: 5 FEET
 MINIMUM REAR YARD: 20 FEET
 MINIMUM LOT WIDTH: 40 FEET
 MINIMUM LOT AREA: 3,500 SQUARE FEET
 MAXIMUM BUILDING HEIGHT: 50 FEET

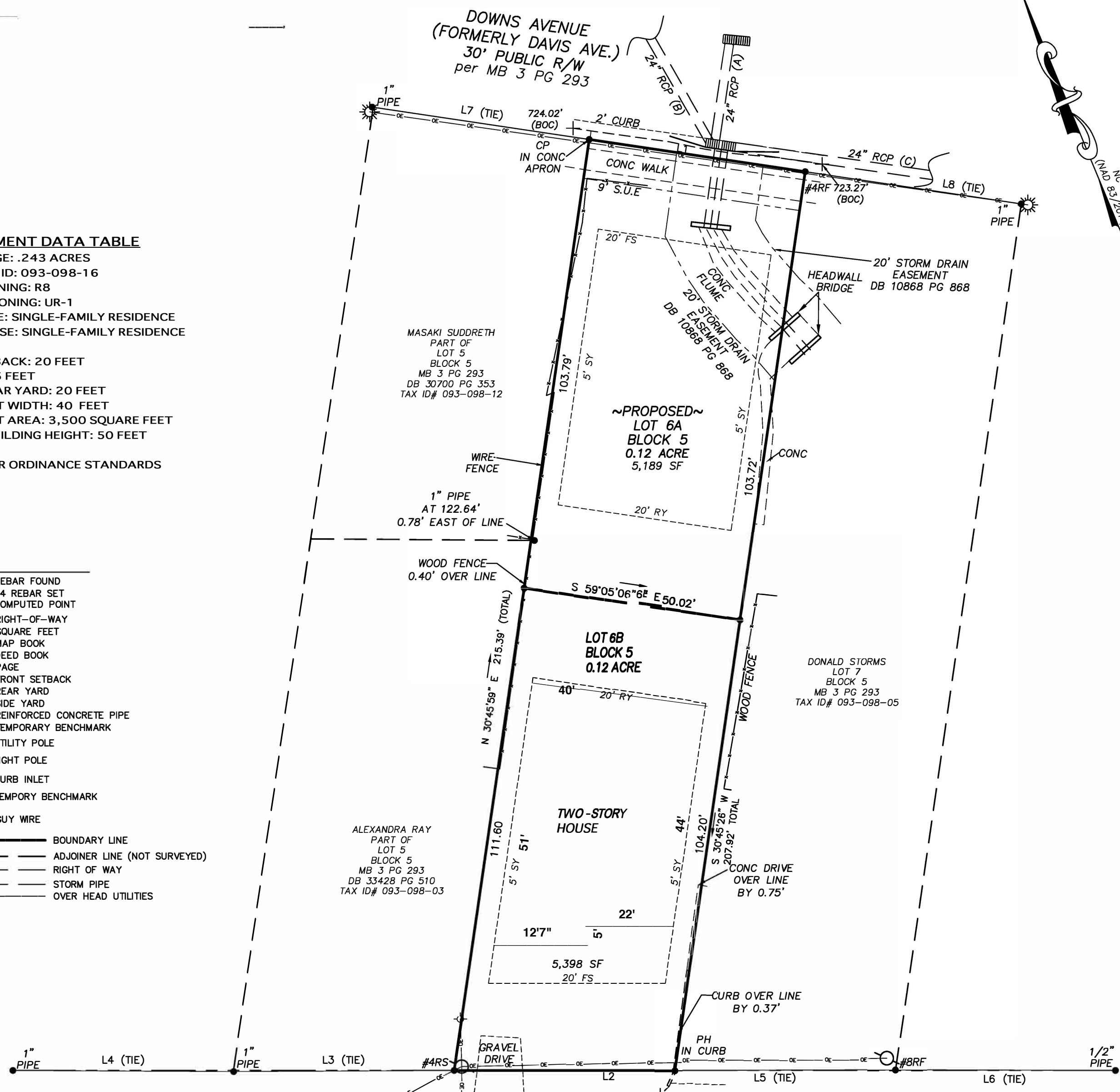
PARKING: PER ORDINANCE STANDARDS

LEGEND

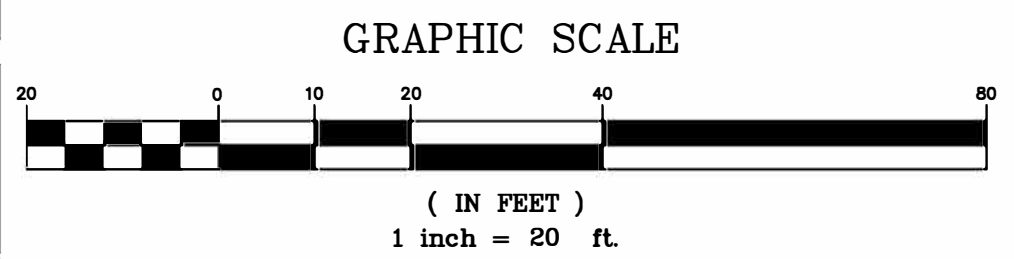
- | | |
|-----|--------------------------|
| RF | REBAR FOUND |
| RS | #4 REBAR SET |
| CP | COMPUTED POINT |
| R/W | RIGHT-OF-WAY |
| SF | SQUARE FEET |
| MB | MAP BOOK |
| DB | DEED BOOK |
| PG | PAGE |
| FS | FRONT SETBACK |
| RY | REAR YARD |
| SY | SIDE YARD |
| RCP | REINFORCED CONCRETE PIPE |
| TBM | TEMPORARY BENCHMARK |
| ☀ | UTILITY POLE |
| ☀ | LIGHT POLE |
| ☐ | CURB INLET |
| ⊕ | TEMPORARY BENCHMARK |
| ⊕ | GUY WIRE |
-
- | | |
|-----|------------------------------|
| --- | BOUNDARY LINE |
| --- | ADJOINER LINE (NOT SURVEYED) |
| --- | RIGHT OF WAY |
| --- | STORM PIPE |
| --- | OVER HEAD UTILITIES |

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 59°00'46" E	150.00'
L2	N 67°30'05" W	150.56'
L3	N 67°47'24" W	150.53'
L4	N 67°12'48" W	150.59'
L5	S 67°41'56" E	150.55'
L6	S 67°18'13" E	150.43'
L7	N 59°00'46" W	150.27'
L8	S 59°00'46" E	150.00'



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FLOOD NOTE:
 NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP. COMMUNITY PANEL 3710456400K, DATED: FEBRUARY 19, 2014.

C:\CG SURVEY 2020\JOBS\99 MISC\099-20-142 SHAMROCK DRIVE-ENVISION\SHAMROCK DRIVE-ENVISION.dwg