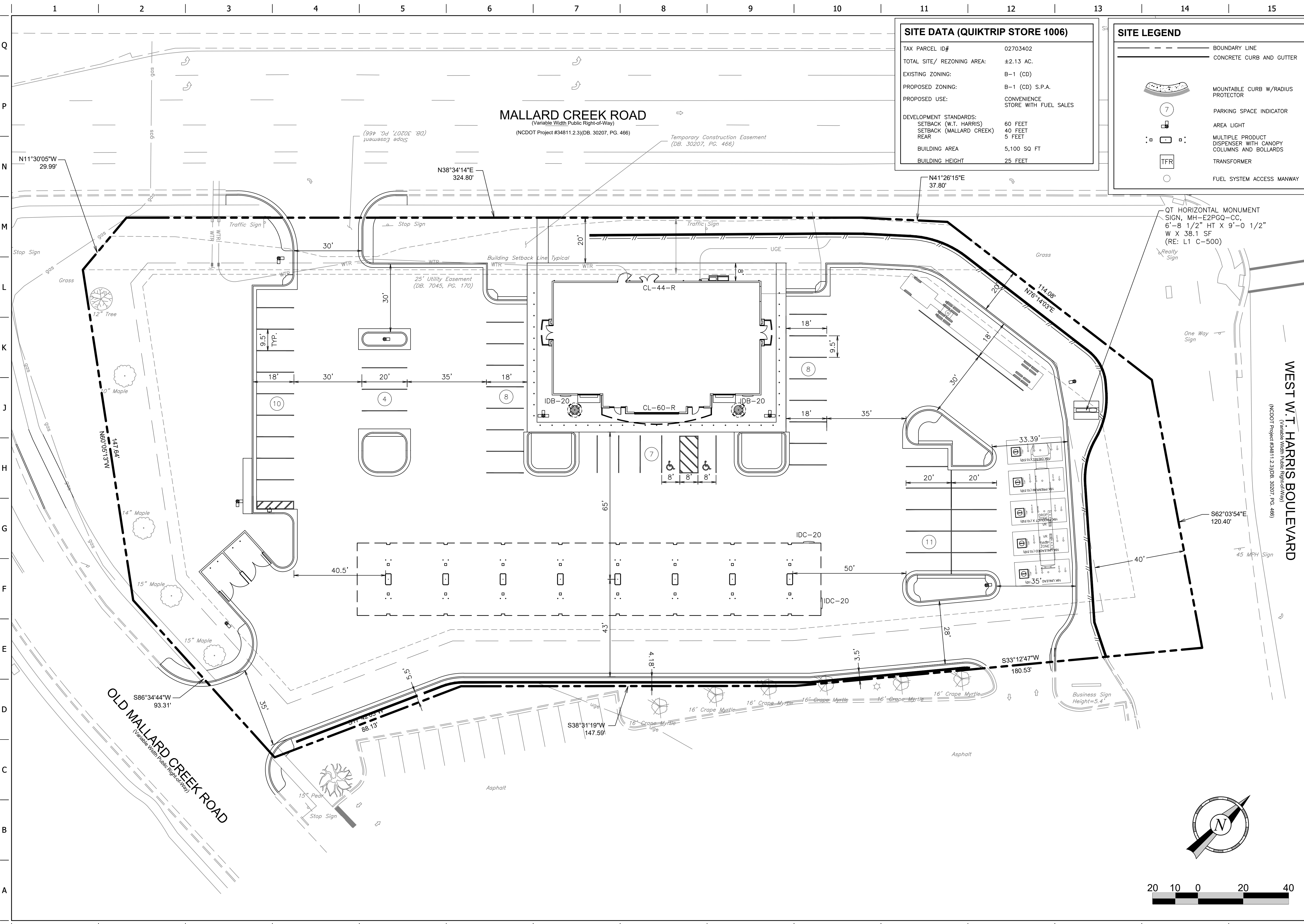


FILE LOCATION: \\Drawings\Projects\QuikTrip\1006 (Charlotte, NC)\81-1006 Civil.dwg TAB NAME: Site (Rezoning) USER: RDM: 7/13/2021 4:19 PM PLOT: 7/13/2021 4:26 PM



SITE DATA (QUIKTRIP STORE 1006)

TAX PARCEL ID#	02703402
TOTAL SITE/ REZONING AREA:	±2.13 AC.
EXISTING ZONING:	B-1 (CD)
PROPOSED ZONING:	B-1 (CD) S.P.A.
PROPOSED USE:	CONVENIENCE STORE WITH FUEL SALES
DEVELOPMENT STANDARDS:	
SETBACK (W.T. HARRIS)	60 FEET
SETBACK (MALLARD CREEK)	40 FEET
REAR	5 FEET
BUILDING AREA	5,100 SQ FT
BUILDING HEIGHT	25 FEET

SITE LEGEND

	BOUNDARY LINE
	CONCRETE CURB AND GUTTER
	MOUNTABLE CURB W/RADIUS PROTECTOR
	PARKING SPACE INDICATOR
	AREA LIGHT
	MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
	TRANSFORMER
	FUEL SYSTEM ACCESS MANWAY

PROJECT NO.: #####
 FREELAND and KALFMAN, INC.
 Engineers and Surveyors
 209 West Stone Avenue
 Greensboro, North Carolina 27409
 336.424.4971

QuikTrip No. 1006
 MALLARD CREEK ROAD
 CHARLOTTE, NC



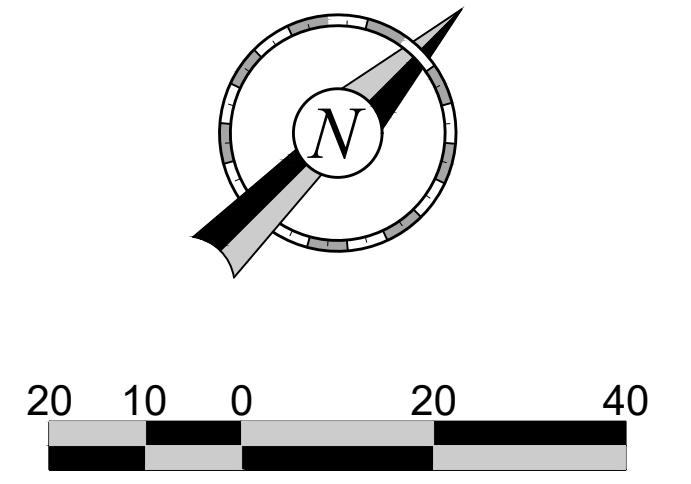
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PROTOTYPE: P-106 (05/01/21)
 DIVISION:
 VERSION: 001
 DESIGNED BY:
 DRAWN BY:
 REVIEWED BY:

REV	DATE	DESCRIPTION	ORIGINAL ISSUE DATE:

SHEET TITLE:
 REZONING PETITION

SHEET NUMBER:
 RZ-1



FILE LOCATION: \\s:\Drawings\Projects\QuikTrip\1006 (Charlotte, NC)\81-1006 Civil.dwg TAB NAME: Dev Standards USER: DEnsor SAVED: 7/13/2021 7:35 AM PLOTTED: 7/13/2021 4:18 PM

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DEVELOPMENT STANDARDS
July 14, 2021

A. General Provisions

1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by QuikTrip Corporation to accommodate the development of a convenience store with gasoline sales and any incidental or accessory uses relating thereto on that approximately 2.130 acre site located on the southeast corner of the intersection of West W.T. Harris Boulevard and Mallard Creek Road, which site is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel No. 027-034-02.
2. The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
3. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the B-1 zoning district shall govern all development taking place on the Site.
4. The development and uses depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback and yard requirements set forth on this Rezoning Plan and the development standards, provided, however, that any such alterations and modifications shall not materially change the overall design intent depicted on the Rezoning Plan. Alterations and modifications shall be in accordance with Section 6.207 of the Ordinance.
5. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

B. Permitted Uses/Development Limitations

1. Subject to the limitations set out below in paragraphs 2 through 5, the Site may only be devoted to a convenience store with gasoline sales and to any incidental or accessory uses associated therewith that are permitted under the Ordinance in the B-1 zoning district. Incidental and accessory uses may include, without limitation, an eating, drinking and entertainment establishment use.
2. Accessory drive through service windows shall not be permitted on the Site.
3. A car wash shall not be permitted on the Site.
4. A maximum of one principal building may be located on the Site.
5. The maximum gross floor area of the principal building located on the Site shall be 5,100 square feet. The area under the canopy over the gas pumps associated with the convenience store and outdoor dining areas shall not be included in the calculation of the maximum gross floor area.

C. Transportation

1. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.
2. The alignments of the internal drives to be located on the Site are subject to any minor modifications or alterations required during the construction permitting process.
3. Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan.

D. Architectural Standards

1. The maximum height of the building to be constructed on the Site shall be 25 feet.
2. Attached to the Rezoning Plan are schematic architectural renderings of the building to be constructed on the Site that are intended to depict the general conceptual architectural style and character of the building. Accordingly, the building to be constructed on the Site shall be designed and constructed so that it is substantially similar in appearance to the attached schematic architectural renderings with respect to architectural style, character and primary building materials. Notwithstanding the foregoing, changes and alterations to the elevations of the building which do not materially change the overall conceptual architectural style and character shall be permitted.
3. The exterior building materials for the building to be constructed on the Site are designated on the attached schematic architectural renderings.

E. Streetscape and Landscaping

1. Only to the extent that these improvements do not exist, Petitioner shall install a minimum 8 foot wide planting strip and a minimum 6 foot wide sidewalk along the Site's frontages on West W.T. Harris Boulevard, Mallard Creek Road and Old Mallard Creek Road.

F. Environmental Features

1. Development of the Site shall comply with the City of Charlotte Tree Ordinance.
2. Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Stormwater Ordinance.

G. Amendments to the Rezoning Plan

1. Future amendments to the Rezoning Plan (which includes these development standards) may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

H. Binding Effect of the Rezoning Documents and Definitions

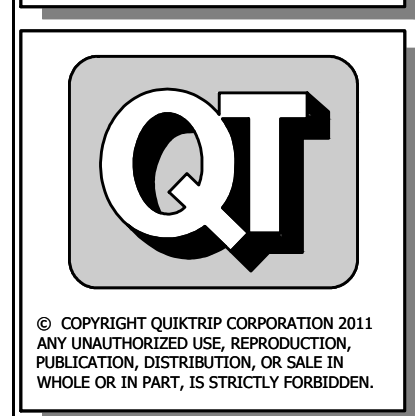
1. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
2. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
3. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.

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PROJECT NO.: #####

FREELAND and KALFMAN, INC.
Engineers and Architects
205 West Stone Avenue
Greenville, South Carolina 29609
04/23/2021

QuikTrip No. 1006
MALLARD CREEK ROAD
CHARLOTTE, NC



PROTOTYPE: P-106 (05/01/21)
DIVISION:
VERSION: 001
DESIGNED BY:
DRAWN BY:
REVIEWED BY:

REV	DATE	DESCRIPTION	ORIGINAL ISSUE DATE:

SHEET TITLE:
DEVELOPMENT STANDARDS
AND NOTES

SHEET NUMBER:
RZ-2