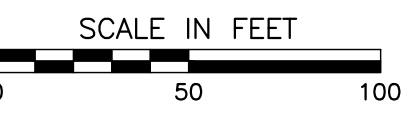
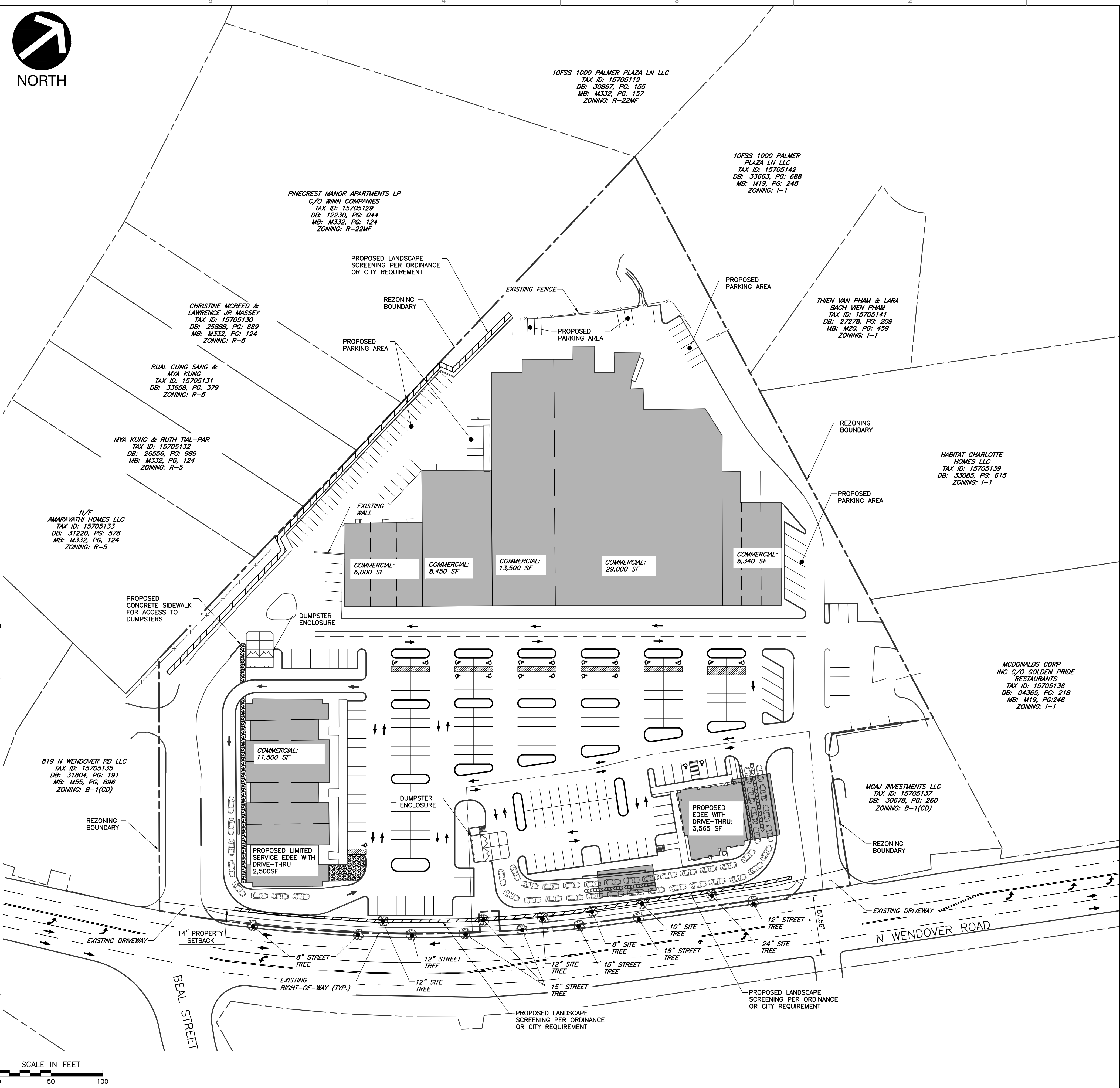


**DEVELOPMENT DATA:**  
 PROJECT NAME: WENDOVER PLAZA REDEVELOPMENT  
 OWNER/AGENT: PIEDMONT CAPITAL, LLC PHONE #: 980-939-4367  
 OWNER ADDRESS: 3110 FERNCLIFF ROAD CHARLOTTE, NC 28211  
 PLANS PREPARED BY: CIVIL & ENVIRONMENTAL CONSULTANTS, INC.  
 DESIGNER ADDRESS: 3701 ARCO CORPORATE DRIVE, STE 400 CHARLOTTE, NC 28273  
 PHONE #: 980-237-0373  
 TAX PARCEL #: 15705136  
 EXISTING ZONING: B-1 (CD)  
 PROPOSED ZONING: NS  
 EXISTING USE: COMMERCIAL  
 PROPOSED USE: COMMERCIAL  
 FLOOR-AREA RATIO: 4.24  
 LOT SIZE: 343,427/7,884 SQ. FEET/ACRES  
 EXISTING BUILDINGS: 77,500 SQ. FEET  
 PROPOSED BUILDING: 3,562 SQ. FEET  
 EXISTING PARKING: 422 SPACES PER THE EXISTING APPROVED SITE PLAN  
 REQUIRED PARKING: 1 SPACE PER 600 SQ. FEET  
 TOTAL REQUIRED PARKING: 138 SPACES  
 TOTAL PARKING PROVIDED: WILL MEET ORDINANCE STANDARDS  
 MINIMUM VEHICLE STORAGE FOR DRIVE-IN WINDOW: 8 VEHICLE SPACES



VICINITY MAP: N.T.S.

- GENERAL PROVISIONS**
  - A. THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY PIEDMONT CAPITAL, LLC. (THE "PETITIONER") FOR AN APPROXIMATELY 7.88 ACRE SITE LOCATED ON THE WESTERN SIDE OF N. WENDOVER ROAD. THE SITE IS MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (HEREINAFTER REFERRED TO AS THE "SITE"). THE SITE IS COMPRISED OF TAX PARCEL NO. 15705136.
  - B. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE").
  - C. UNLESS THE REZONING PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE NEIGHBORHOOD ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
  - D. THE DEVELOPMENT AND USES DEPICTED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND ARE INTENDED TO DEPICT THE GENERAL ARRANGEMENT OF USES AND IMPROVEMENTS ON THE SITE. ACCORDINGLY, THE ULTIMATE LAYOUT, LOCATIONS AND SIZES OF THE DEVELOPMENT AND SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE PROPOSED DEVELOPMENT AND SITE ELEMENTS, AND THEY MAY BE ALTERED OR MODIFIED IN ACCORDANCE WITH THE SETBACK AND YARD REQUIREMENTS SET FORTH ON THIS REZONING PLAN AND THE DEVELOPMENT STANDARDS, PROVIDED, HOWEVER, THAT ANY SUCH ALTERATIONS AND MODIFICATIONS SHALL NOT MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN. ALTERATIONS TO THE CONDITIONAL REZONING PLAN WILL BE REVIEWED AND APPROVED AS ALLOWED BY SECTION 6.207 OF THE ORDINANCE.
  - E. THE SITE IS CURRENTLY IMPROVED WITH A COMMERCIAL DEVELOPMENT KNOWN AS WENDOVER PLAZA. TO THE EXTENT THAT THE EXISTING BUILDING, ANY EXISTING IMPROVEMENTS OR ANY EXISTING SIGNS LOCATED ON THE SITE DO NOT MEET THE REQUIREMENTS OF THE NS ZONING DISTRICT OR ANY OTHER PROVISIONS OF THE ORDINANCE, THE EXISTING BUILDING, THE EXISTING IMPROVEMENTS AND/OR THE EXISTING SIGNS SHALL BE CONSIDERED TO BE LEGALLY NON-CONFORMING AND SHALL NOT BE REQUIRED TO COMPLY WITH SUCH ORDINANCE REQUIREMENTS AND PROVISIONS.
  - F. ACCESSORY USES AND STRUCTURES PERMITTED BY RIGHT AND UNDER THE PRESCRIBED CONDITIONS ARE PERMITTED IN THE NS DISTRICT. TYPE-1 EATING AND DRINKING ESTABLISHMENTS ARE PERMITTED WITHIN THE NS DISTRICT, DRIVE-IN WINDOWS AS AN ACCESSORY TO THE PRINCIPAL USE.
- PERMITTED USES/DEVELOPMENT LIMITATIONS**
  - A. SUBJECT TO THE LIMITATIONS SET OUT BELOW, THE SITE MAY BE DEVOTED TO ANY USE OR USES ALLOWED BY RIGHT OR UNDER PRESCRIBED CONDITIONS IN THE NS ZONING DISTRICT, TOGETHER WITH ANY INCIDENTAL OR ACCESSORY USES ASSOCIATED THEREWITH THAT ARE PERMITTED UNDER THE ORDINANCE IN THE NS ZONING DISTRICT. ACCESSORY USES MAY INCLUDE OUTDOOR DINING.
  - B. THE SITE MAY CONTAIN AND BE DEVELOPED WITH A TOTAL MINIMUM FLOOR-AREA-RATIO OF 2.0.
- TRANSPORTATION**
  - A. ACCESS TO THE SITE WILL BE FROM N. WENDOVER ROAD AS GENERALLY DEPICTED ON THE REZONING PLAN.
  - B. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINT IS SUBJECT TO MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE DEVELOPMENT AND CONSTRUCTION PLANS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE NCDOT IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS.
  - C. THE ALIGNMENT OF THE INTERNAL VEHICULAR CIRCULATION AND DRIVEWAYS MAY BE MODIFIED BY THE PETITIONER TO ACCOMMODATE CHANGES IN TRAFFIC PATTERNS, PARKING LAYOUTS, AND ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY NCDOT IN ACCORDANCE WITH PUBLISHED STANDARDS.
- ARCHITECTURAL STANDARDS**
  - A. A VARIETY OF PRINCIPAL BUILDING MATERIALS MAY BE UTILIZED ON SITE AND WILL BE A COMBINATION OF THE FOLLOWING: MASONRY BRICK, CONCRETE, PRE-CAST CONCRETE, STONE, PRECAST STONE, PRE-FINISHED METAL, ALUMINUM, STEEL, STUCCO, WOOD, CERAMIC TILE, CEMENTITIOUS FIBER BOARD, AND GLASS FIBER REINFORCED CONCRETE. VINYL AS A BUILDING MATERIAL WILL ONLY BE ALLOWED ON WINDOWS, SOFFITS, AND TRIM FEATURES.
  - B. BUILDING PLACEMENT AND SITE DESIGN SHALL FOCUS ON AND ENHANCE THE PEDESTRIAN ENVIRONMENT ALONG N. WENDOVER ROAD.
  - C. THE NEW BUILDINGS SHALL BE PLACED TO PRESENT A FRONT OR SIDE FACADE TO PUBLIC STREETS.
  - D. FACADES FRONTING STREETS SHALL INCLUDE A COMBINATION OF WINDOWS AND OPERABLE DOORS FOR A MINIMUM OF 60% OF EACH FRONTAGE ELEVATION. MINIMUM REQUIREMENT FOR TRANSPARENT GLASS IS BETWEEN 2" AND 10" ON THE FIRST FLOOR. THE MAXIMUM SILL HEIGHT FOR REQUIRED TRANSPARENCY SHALL NOT EXCEED 4'-0" ABOVE ADJACENT STREET SIDEWALK.
  - E. THE FACADES OF FIRST/GROUND FLOOR OF THE BUILDINGS ALONG PUBLIC STREETS SHALL INCORPORATE A MINIMUM OF 30% MASONRY MATERIALS SUCH AS BRICK, STONE OR PRECAST.
  - F. DIRECT PEDESTRIAN CONNECTIONS SHOULD BE PROVIDED BETWEEN STREET FACING DOORS AND CORNER ENTRANCE FEATURES TO SIDEWALK ON ADJACENT STREETS.
  - G. BUILDING ELEVATIONS SHALL NOT HAVE EXPANSIONS OF BLANK WALLS GREATER THAN 20 FEET IN ALL DIRECTIONS AND ARCHITECTURAL FEATURES SUCH AS BUT NOT LIMITED TO BANDING, MEDALLIONS OR DESIGN FEATURES OR MATERIALS WILL BE PROVIDED TO AVOID A STERILE, UNARTICULATED BLANK TREATMENT OF SUCH WALLS.
  - H. BUILDING ELEVATIONS SHALL BE DESIGNED WITH VERTICAL BAYS OR ARTICULATED ARCHITECTURAL FEATURES WHICH SHALL INCLUDE A COMBINATION OF AT LEAST THREE OF THE FOLLOWING: A COMBINATION OF EXTERIOR WALL OFFSETS (PROJECTIONS AND RECESSES), COLUMNS, PILASTERS, CHANGE IN MATERIALS OR COLORS, AWNINGS, ARCADES, OR OTHER ARCHITECTURAL ELEMENTS.
  - I. FLOORS ABOVE THE GROUND FLOOR NON-RESIDENTIAL SHALL HAVE A MINIMUM OF 20% TRANSPARENCY ON ALL UPPER STORIES.
  - J. ALL HVAC AND MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOFTOP AND SHALL BE SCREENED FROM PUBLIC VIEW OR AT GRADE AND SCREENED FROM PUBLIC VIEW.
- STREETScape AND LANDSCAPING**
  - A. A SETBACK OF 14', MEASURED FROM THE EXISTING BACK OF CURB, SHALL BE PROVIDED ALONG N. WENDOVER ROAD.
  - B. ABOVE GROUND BACKFLOW PREVENTERS WILL BE PROVIDED TO AVOID A STERILE, UNARTICULATED BLANK TREATMENT OF SUCH WALLS.
  - C. ABOVE GROUND BACKFLOW PREVENTERS WILL BE PROVIDED TO AVOID A STERILE, UNARTICULATED BLANK TREATMENT OF SUCH WALLS.
- ENVIRONMENTAL FEATURES**
  - A. THE SITE SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST-CONSTRUCTION STORMWATER ORDINANCE.
  - B. THE SITE SHALL COMPLY WITH THE CITY OF CHARLOTTE TREE ORDINANCE.
- FIRE PROTECTION**
  - A. A SHARED FIRE LANE SHALL BE PROVIDED ON THE SITE TO ALLOW FOR CITY OF CHARLOTTE FIRE DEPARTMENT ACCESS.
- SIGNAGE - PER ORDINANCE**
  - A. DETACHED SIGNS AND WALL SIGNS WITHIN THE NS ZONING DISTRICT ARE PERMITTED IN ACCORDANCE WITH CHAPTER 13 AS MODIFIED BY THE FOLLOWING PROVISIONS, WHICH SHALL TAKE PRECEDENCE:
    - B. WALL SIGNS ARE PERMITTED IN ACCORDANCE WITH SECTION 13.108(1), WITH THE FOLLOWING EXCEPTION. SIGNS MAY BE LOCATED ON ANY BUILDING WALL OF A NON-RESIDENTIAL STRUCTURE SO LONG AS THE MAXIMUM SIGN SURFACE AREA OF ALL SIGNS ON ONE WALL DOES NOT EXCEED 5% OF THE AREA OF THE BUILDING WALL TO WHICH THE SIGN IS ATTACHED, UP TO A MAXIMUM OF 100 SQUARE FEET.
    - C. DETACHED IDENTIFICATION SIGNS FOR FREE-STANDING BUSINESSES ARE PERMITTED IN ACCORDANCE WITH SECTION 13.109(4), WITH THE EXCEPTION THAT THE MAXIMUM SIGN SURFACE AREA SHALL NOT EXCEED 32 SQUARE FEET AND THE MAXIMUM HEIGHT SHALL NOT EXCEED 7 FEET.
    - D. DETACHED IDENTIFICATION SIGNS FOR SHOPPING CENTERS AND OTHER MULTI-TENANT BUILDINGS ARE PERMITTED AND SHALL NOT EXCEED 64 SQUARE FEET, AND THE MAXIMUM HEIGHT SHALL NOT EXCEED 16 FEET. DETACHED IDENTIFICATION SIGNS FOR OUTPARCEL LOTS WITHIN SHOPPING CENTERS ARE PERMITTED AND SHALL NOT EXCEED 32 SQUARE FEET AND THE MAXIMUM HEIGHT SHALL NOT EXCEED 4 FEET.
    - E. CONDITIONAL DISTRICT APPROVALS MADE PRIOR TO EFFECTIVE DATE OF SECTION 11.509, WITH SPECIFIC SIGN SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THIS SECTION.
- LIGHTING**
  - A. ALL NEW LIGHTING SHALL BE FULL CUT-OFF TYPE FIXTURES; EXCLUDING LOWER DECORATIVE LIGHTING THAT MAY BE INSTALLED ALONG THE INTERNAL DRIVE AISLES, SIDEWALK, COURTYARDS AND LANDSCAPE ACCENT LIGHTING.
  - B. DECORATIVE PEDESTRIAN SCALED LIGHTS MAY BE PROVIDED WITHIN THE SITE.
- BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS**
  - A. IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE USE AND DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INCURE TO THE BENEFIT OF PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.
  - B. THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERM "PETITIONER" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.



- REFERENCE**
- EXISTING SITE CONDITIONS FROM SURVEY PROVIDED ON MARCH 1, 2021 BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC.

**PRELIMINARY  
NOT FOR CONSTRUCTION**

NO.	DATE	REVISION RECORD	DESCRIPTION

**Civil & Environmental Consultants, Inc.**  
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 Ph: 980.237.0373 - Fax: 980.237.0372  
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**PIEDMONT CAPITAL, LLC.  
WENDOVER PLAZA REDEVELOPMENT  
REZONING PETITION  
CHARLOTTE, NORTH CAROLINA**

**OVERALL SITE PLAN  
REZONING PLAN**

DATE: MARCH 2021  
 DRAWN BY: [Signature]  
 AS NOTED / CHECKED BY: [Signature]  
 APPROVED BY: [Signature]

ERR: [Signature]  
 MDV: [Signature]  
 307-165  
 ALL

DRAWING NO.: **RZ-01**