

Rezoning Transportation Analysis
Petition Number: Insert Zoning Petition #2021-224
General Location Identifier: 10812102

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Revision Log:

Date	Description
02-18-2022	First Review (AO)
03-23-2022	Second Review (AO)

General Review Information

The petition is located adjacent to Plaza Road, a State-maintained minor thoroughfare at Hood Road, a State-maintained minor thoroughfare. The petition is located in the East Wedge outside of Route 4.

- Active Projects Near the Site:
- No Projects near the site

CDOT's review of this rezoning petition is intended to provide consistency with council adopted policies, plans, standards and guidelines including, but not limited to, the [Transportation Action Plan \(TAP\)](#), [Vision Zero](#), [Urban Street Design Guidelines \(USDG\)](#), [Center, Corridor and Wedges](#), [Charlotte BIKES](#), [Traffic Impact Study Guidelines](#) and [Charlotte WALKS](#). With a commitment to design complete streets, this review is to ensure that the City's transportation network supports current and future land uses and includes streets that provide safe and comfortable mobility for motorists, pedestrians, bicyclists, and transit users.

This document is primarily for communication to Planning Department staff as part of the overall City staff analysis of the rezoning petition and includes an overall summary of the case from a transportation perspective, information on trip generation, and resolved or outstanding site plan concerns. Additional advisory information about the driveway permit process is provided for information only.

Based on our review of the petition, we offer the following information for your consideration.

Transportation Summary

The site is located on Plaza Road, a State-maintained minor thoroughfare at Hood Road, a State-maintained minor thoroughfare. A Traffic Impact Study (TIS) is not required for this site. Site plan revisions are needed to meet ordinance requirements and/or the outstanding items including, but not limited to committing to construct an 8-foot planting strip, and 6-foot sidewalk on Hood Road, constructing a left-turn lane with 150' of storage on Plaza Road into the site, and constructing an ADA compliant curb ramp at the corner of Plaza Road and Hood Road. Further details are listed below:

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Trip Generation

Scenario	Land Use	Intensity	Trip Generation (vehicle trips/day)	Source
Existing Use	Vacant	-	-	Tax Record
Entitlement with Current Zoning	Retail (B-1, 15.87 acres)	158,700 SF	8,230	General Guidance from Planning
Proposed Zoning	Multifamily (R-8MF, 15.87 acres)	104 Units	570	Site Plan: 09-10-21

Provide comments to the specified comments below.

Outstanding Issues

Strikethrough = Resolved

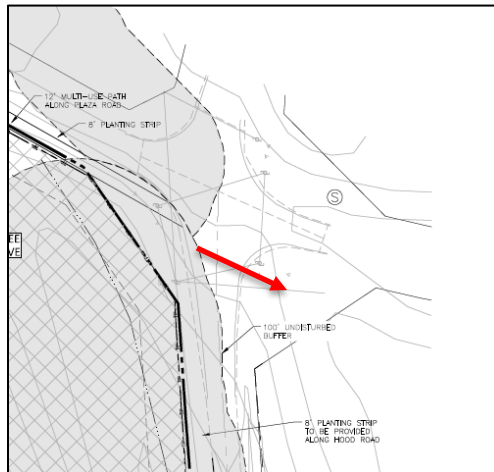
~~1. **Traffic Study:**~~

~~A Traffic Impact Study (TIS) is not necessary for the complete review of this petition due to the site generating less than 2,500 daily trips. If during the permitting process the site generates more than 2,500 daily trips, then a traffic study will be required.~~

2. **Outstanding Comment from 02-18-2022:** Revise site plan and conditional note(s) to commit to construct an 8-foot planting strip, and 6-foot sidewalk on Hood Road per Chapter 19 / Chapter 20. The site plan shall label and dimension both items from road centerline.

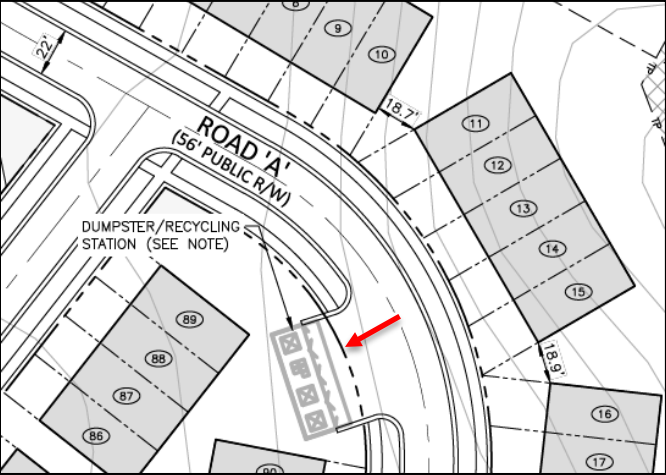
3. **Outstanding Comment from 02-18-2022:** Revise site plan and conditional note(s) to commit to constructing a left-turn lane with 150' of storage on Plaza Road into the site.
Update to Comment (New Site Plan, 3-14-2022): If anything outside of the requirement above has been coordinated with NCDOT, CDOT would need documentation of the agreed upon condition.

~~4. **Resolved (New Site Plan, 3-14-2022):** Revise site plan and conditional note(s) to commit to constructing an ADA compliant curb ramp at the corner of Plaza Road and Hood Road to accommodate the crossing of Hood Road.~~



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- 5. Revise site plan and add conditional note to show that no trash collection will be accommodated within the public rights of way.
Update to Comment (New Site Plan, 3-14-2022): If roll out trash and recycling containers aren't utilized, dumpster/ recycling station shall be located and accessible without maneuvering in the public right-of-way. Current setup doesn't appear to reflect this scenario.



- 6. ~~**Resolved (New Site Plan, 3-14-22):** Add conditional note "All public roadway improvements will be subject to the standards and criteria of CDOT and NCDOT, as applicable, to the roadway improvements within their respective road system authority. It is understood that such improvements may be undertaken by the Petitioner on its own or in conjunction with other development or roadway projects taking place within the broad north eastern Mecklenburg area, by way of a private/public partnership effort or other public sector project support."~~
- 7. Revise site plan to construct a 6-foot sidewalks and 12-foot multi-use path on Plaza Road and Hood Road. The site plan shall label and dimension both items from the back of curb and gutter and road centerline. The entire facility must be outside of the right of way and within a public access easement. Add conditional note committing to construction and maintenance of the 6-foot sidewalk and 12-foot multi-use path on Plaza Road and Hood Road.
Update to Comment (New Site Plan, 3-14-2022): Please see outstanding comment above, if the site will be annexed into the City this comment will not apply.

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Advisory Information

The following are requirements of the developer that must be satisfied prior to driveway permit approval. These requirements shall be reflected on the rezoning plan, as appropriate.

1. The setback for this district is measured from the back of the existing or future curbline as determined by CDOT and Planning during the permitting process.
2. CDOT has the authority to regulate/approve all private street/driveway and public street connections to the right-of-way of a street under the regulatory jurisdiction of the City of Charlotte, per the City of Charlotte's Driveway Regulations.
3. Adequate sight triangles must be reserved at the existing/proposed street entrance(s). Two 50' x 50' sight triangles (and two 10' x 70' sight triangles on NCDOT-maintained streets) are required for the entrance(s) to meet requirements. All proposed trees, berms, walls, fences, and/or identification signs shall not interfere with sight distance at the entrance(s) and shall be identified on the site plan.
4. The proposed driveway connection(s) to public streets will require a driveway permit(s) to be submitted to CDOT (and NCDOT on NCDOT-maintained streets) for review and approval. The exact driveway location(s) and type/width of the driveway(s) will be determined by CDOT during the driveway permit process. The locations of the driveway(s) shown on the site plan are subject to change in order to align with driveway(s) on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
5. All proposed commercial driveway connections to a future public street will require a driveway permit submitted to CDOT for review and approval.
6. Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
7. A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City-maintained street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to construction/installation. Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.
8. The petitioner needs to complete and submit the [Right of way Abandonment Petition form](#) to CDOT for review. The decision of this rezoning petition does not correlate with the decision of the possible abandonment, as this decision is issued within the separate Right of Way Abandonment process that is controlled by North Carolina General Statutes.
9. To attain a street and pedestrian lighting recommendation, the petitioner should coordinate with Anthony Mendez, CDOT. Please visit the following link:
<https://charlottenc.gov/Transportation/Programs/Pages/StreetLighting.aspx>