

Rezoning Transportation Analysis
Petition Number: Insert Zoning Petition #2020-184
General Location Identifier: 06703101

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Revision Log:	Date	Description
	01-21-2021	First Review (KP)
	02-10-2021	Second Review (KP)

General Review Information

This site is located at the intersection of Freedom Drive and Morehead Street, two State-maintained major thoroughfares, inside the limits of Route 4. Additionally, this site is located within the West Corridor and inside the limits of the West Morehead Land Use and the Pedscape Plan.

Active Projects Near the Site:

- Project Name
 - No active projects near the site.

CDOT's review of this rezoning petition is intended to provide consistency with council adopted policies, plans, standards and guidelines including, but not limited to, the [Transportation Action Plan \(TAP\)](#), [Vision Zero](#), [Urban Street Design Guidelines \(USDG\)](#), [Center, Corridor and Wedges](#), [Charlotte BIKES](#), [Traffic Impact Study Guidelines](#) and [Charlotte WALKS](#). With a commitment to design complete streets, this review is to ensure that the City's transportation network supports current and future land uses and includes streets that provide safe and comfortable mobility for motorists, pedestrians, bicyclists, and transit users.

This document is primarily for communication to Planning Department staff as part of the overall City staff analysis of the rezoning petition and includes an overall summary of the case from a transportation perspective, information on trip generation, and resolved or outstanding site plan concerns. Additional advisory information about the driveway permit process is provided for information only.

Based on our review of the petition, we offer the following information for your consideration.

Transportation Summary

The site is located on the northwest corner of the Freedom Drive and Morehead Street intersection, of which both streets are State-maintained major thoroughfares. As this petition is focused on amending a site plan, this site will not necessitate any transportation improvements. There are existing bicycle and pedestrian infrastructure that will be utilized for this site. Site plan revisions are needed to meet ordinance requirements and the outstanding items including, but not limited to including a sidewalk utility easement 2-feet behind the sidewalk along the site's Morehead Street and Freedom Drive frontage and correcting the Morehead Street striping on the site plan. Further details are listed below.

Trip Generation

Scenario	Land Use	Intensity	Trip Generation (vehicle trips/day)	Source
Existing Use	Restaurant	2,819 SF	320	Tax Record
Entitlement with Current Zoning	Retail (B-1 0.225 acres)	2,250 SF	460	General Guidance from Planning

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Proposed Zoning	Restaurant	2,819 SF	320	Site Plan: 10-20-20
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Provide comments to the specified comments below.

Outstanding Issues

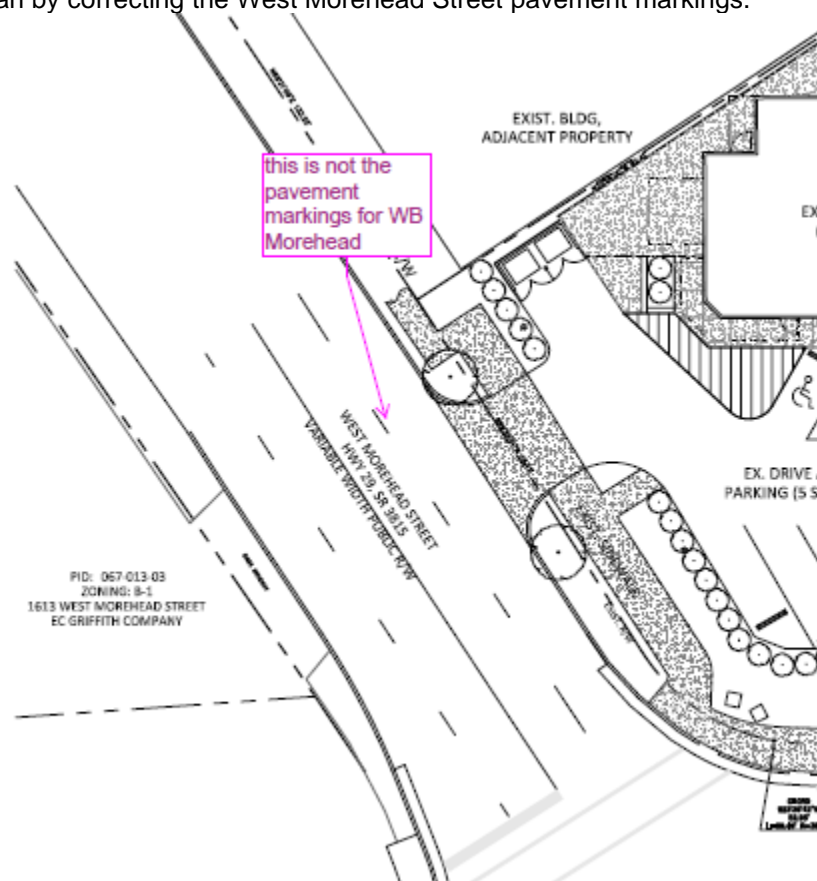
Strikethrough = Resolved

1. Revise the site plan by adding a sidewalk utility easement 2-feet behind the sidewalk along the site's Morehead Street and Freedom Drive frontage.

Update to Comment from 02-08-2021 Site Plan: Please change the language on Transportation Note 2 to "The petitioner will provide an easement to CDOT and NCDOT, as generally depicted on the site plan, for a 2-foot wide area behind and coterminous with the existing sidewalk along both West Morehead Street and Freedom Drive for sidewalk maintenance and underground utilities.". Additionally, please clearly show and label the SUE on the site plan.

⚠ The Petitioner will provide an easement to either the City of Charlotte or to NCDOT, whichever has jurisdiction, for a 2' wide area behind and directly coterminous with the existing sidewalk along both West Morehead Street and Freedom Drive for sidewalk maintenance and for underground utilities ~~except where such easement would encroach upon the existing development on the site.~~

2. Revise the site plan by correcting the West Morehead Street pavement markings.



Update to Comment from 02-08-2021 Site Plan: Please include all pavement markings.

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3. ~~A site plan note(s) specifying dedication and fee simple conveyance of all rights-of-way to NCDOT before the site's first building certificate of occupancy is issued is needed. CDOT requests rights-of-way set at 2' behind back of sidewalk where feasible.~~

Advisory Information

The following are requirements of the developer that must be satisfied prior to driveway permit approval. These requirements shall be reflected on the rezoning plan, as appropriate.

1. The setback for this district is measured from the back of the existing or future curbline as determined by CDOT and Planning during the permitting process.
2. CDOT has the authority to regulate/approve all private street/driveway and public street connections to the right-of-way of a street under the regulatory jurisdiction of the City of Charlotte, per the City of Charlotte's Driveway Regulations.
3. Adequate sight triangles must be reserved at the existing/proposed street entrance(s). Two 35' x 35' sight triangles (and two 10' x 70' sight triangles on NCDOT-maintained streets) are required for the entrance(s) to meet requirements. All proposed trees, berms, walls, fences, and/or identification signs shall not interfere with sight distance at the entrance(s) and shall be identified on the site plan.
4. The proposed driveway connection(s) to public streets will require a driveway permit(s) to be submitted to CDOT (and NCDOT on NCDOT-maintained streets) for review and approval. The exact driveway location(s) and type/width of the driveway(s) will be determined by CDOT during the driveway permit process. The locations of the driveway(s) shown on the site plan are subject to change in order to align with driveway(s) on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
5. All proposed commercial driveway connections to a future public street will require a driveway permit submitted to CDOT for review and approval.
6. Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
7. A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City-maintained street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to construction/installation. Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.
8. The petitioner needs to complete and submit the [Right of way Abandonment Petition form](#) to CDOT for review. The decision of this rezoning petition does not correlate with the decision of the possible abandonment, as this decision is issued within the separate Right of Way Abandonment process that is controlled by North Carolina General Statutes.
9. To attain a street and pedestrian lighting recommendation, the petitioner should coordinate with Anthony Mendez, CDOT. Please visit the following link:
<https://charlottenc.gov/Transportation/Programs/Pages/StreetLighting.aspx>