

Rezoning Transportation Analysis

Petition Number: 2020-013

General Location Identifier: 14902504, 14902503

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Revision Log:

| Date | Description |
|----------|--------------|
| 02-24-20 | First Review |

General Review Information

The site is at the unsignalized intersection of South Tryon Street (major thoroughfare) and Cama Street (minor thoroughfare) and is located along a corridor inside Route 4.

Active Projects Near the Site:

- There are no active projects in the immediate area.

CDOT's review of this rezoning petition is intended to ensure consistency with the Transportation Action Plan (TAP) which seeks to ensure that the City's transportation network supports current and future land uses and includes streets that provide safe and comfortable mobility for motorists, pedestrians, bicyclists, and transit users.

This document is primarily for communication to Planning Department staff as part of the overall City staff analysis of the rezoning petition and includes an overall summary of the case from a transportation perspective, information on trip generation, and resolved or outstanding site plan concerns. Additional advisory information about the driveway permit process is provided for information only.

Based on our review of the petition, we offer the following information for your consideration.

Transportation Summary

The site is located on major and minor thoroughfare roads. The petitioner should revise the site plan to meet the ordinance requirements and the outstanding items listed below.

Trip Generation

| Scenario | Land Use | Intensity | Trip Generation (vehicle trips/day) | Source |
|---------------------------------|--------------------------------|------------------------------------|-------------------------------------|--------------------------------|
| Existing Use | Single Family | 2 dwellings | 20 | Tax Record |
| Entitlement with Current Zoning | Single Family (0.61 ac of R-8) | 4 dwellings | 40 | General Guidance from Planning |
| Proposed Zoning | 0.61 ac of UR-2 (CD) | Need clarification from petitioner | | Site Plan: 12-23-19 |

Outstanding Issues

~~Strikeout~~ = Not an outstanding issue

1. **Curbline** The proposed zoning district has a setback measured from back of the existing or proposed future curbline.
 - a. **South Tryon Street:** The future location of curb and gutter is 41 feet from road centerline, per the council adopted CDOT Streets Map.
 - b. **East Cama Street:** The future location of curb and gutter is 21.5 feet from road centerline, per the council adopted CDOT Streets Map.

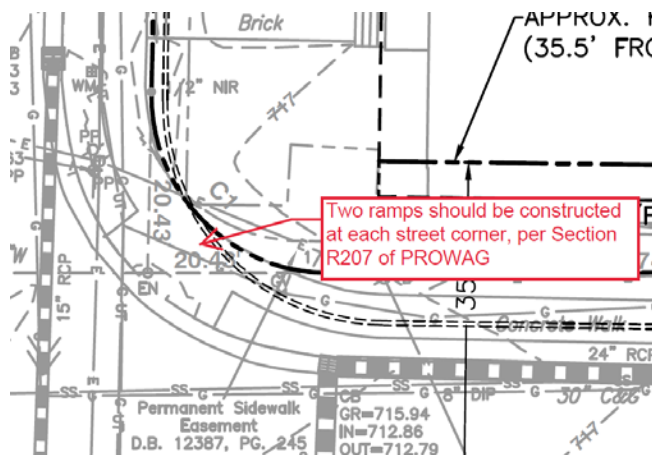
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The site plan should show the curb and gutter labeled and dimensioned from the centerline for each road.

2. **Traffic Study** A Traffic Impact Study is not necessary for the complete review of this petition. If during the permitting process the site generates more than 2500 daily trips, then a traffic study will be required.
3. The petitioner should revise the site plan and conditional note(s) to revise the East Cama Street future right of way that is proposed 35.5 feet from road centerline to dedicate 36.5 feet of right of way from centerline, per the council-adopted CDOT Streets Map and Charlotte Land Development Standards Manual (CLDSM) standard detail U-05-D – Commercial Wide Street Typical Section (TOD only). For clarification, the future curblines that is being referenced is now contained within the CDOT Streets Map, and not the Scaleybar Transit Station Area Plan. The site plan should label and dimension the right-of-way from the road centerline.
4. The petitioner should revise the site plan and conditional note(s) to revise the South Tryon Street future right of way that is proposed 65 feet from road centerline to dedicate 57 feet of right of way from centerline, per the council-adopted CDOT Streets Map. The site plan should label and dimension the right-of-way from the road centerline.
5. The petitioner should revise the site plan and conditional note(s) to commit to construct an 8-foot planting strip and 8-foot sidewalk, per the Scaleybar Transit Station Area Plan, with respect to the future curblines, along both South Tryon Street and East Cama Street. The Scaleybar Transit Station Area Plan remains as the reference for the streetscape requirements for this proposed rezoning.
6. The petitioner should revise the site plan and conditional note(s) to provide two curb ramps at the intersection of South Tryon Street & East Cama Street.



7. The petitioner should revise the site plan and conditional note of Section (C.Transportation.1.) to provide one access off of East Cama Street, via a CLDSM standard detail 1025.E - Type II Modified Driveway. NCDOT will not permit access off South Tryon Street.
8. The petitioner should revise the site plan to add a note specifying dedication and fee simple conveyance of all rights of way to the City before the site's first building certificate of occupancy is issued. CDOT requests right of way set at 2' behind back of sidewalk where feasible.

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9. The petition should revise the site plan to add a note to propose a location for trash receptacles/pick-up.
10. The petitioner should revise the site plan to add a note specifying all transportation improvements will be approved and constructed before the site's first building certificate of occupancy is issued. The petitioner may phase transportation improvements if said improvements and phasing are explicitly described in site plan notes.
11. ~~Resolved-Sample format for comment that is resolved~~

Advisory Information

The following are requirements of the developer that must be satisfied prior to driveway permit approval. We recommend that the petitioner reflect these on the rezoning plan as-appropriate.

1. According to the City of Charlotte's Driveway Regulations, CDOT has the authority to regulate/approve all private street/driveway and public street connections to the right-of-way of a street under the regulatory jurisdiction of the City of Charlotte.
2. Adequate sight triangles must be reserved at the existing/proposed street entrance(s). Two 35' x 35' sight triangles (and two 10' x 70' sight triangles on North Carolina Department of Transportation on NCDOT maintained streets) are required for the entrance(s) to meet requirements. All proposed trees, berms, walls, fences, and/or identification signs must not interfere with sight distance at the entrance(s). Such items should be identified on the site plan.
3. The proposed driveway connection(s) to public streets will require a driveway permit(s) to be submitted to CDOT (and the North Carolina Department of Transportation on NCDOT maintained streets) for review and approval. The exact driveway location(s) and type/width of the driveway(s) will be determined by CDOT during the driveway permit process. The locations of the driveway(s) shown on the site plan are subject to change in order to align with driveway(s) on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
4. All proposed commercial driveway connections to a future public street will require a driveway permit to be submitted to CDOT for review and approval.
5. Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
6. A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City maintained street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to the construction/installation of the non-standard item(s). Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.