

Agenda Supplement

February 14, 2024
HDC Meeting

Applicant Submitted Information

6. 417 Heathcliff St (PID 07103304)
HDCRMI-[2023-00588](#)
Wesley Heights
Martha Connerton & George Hobel, Applicants
9. 424-428 West Bv (PID 11907801)
HDCCMA-[2023-00283](#)
Wilmore
Brittany Lins & Collin Brown, Applicants
15. 201 Grandin Rd (PID 07101508)
HDCRMA-[2023-01160](#)
Wesley Heights
Marc Bolous & Davin Stamp, Applicants

Information Submitted by the Public

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Porch enclosure examples with vertical windows

Either of these options would work if the Commissioners prefer a more open look rather than the double window panels shown in the plans. I would prefer this kind of open look as well, with a slight preference with the small panes at the bottom.

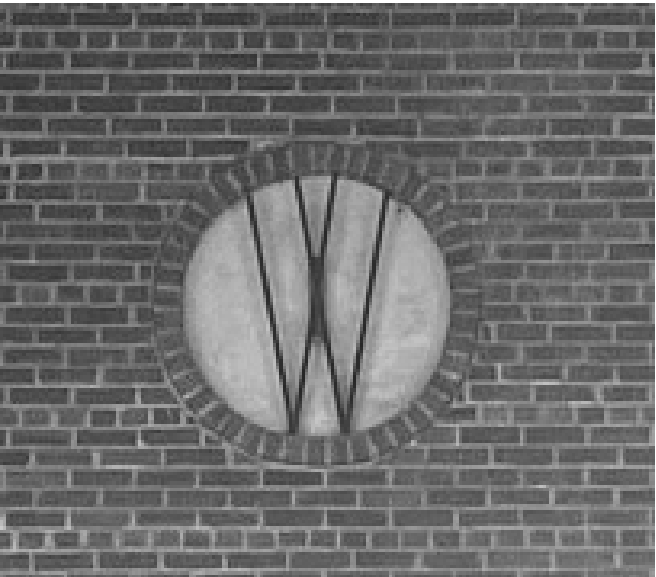


This shows vertical panes with smaller panes at the bottom. It could work well on my enclosed porch and would allow more of an open view to the porch interior.



This shows completely open panes, top to bottom, It would provide a fully open view of the porch, interior.

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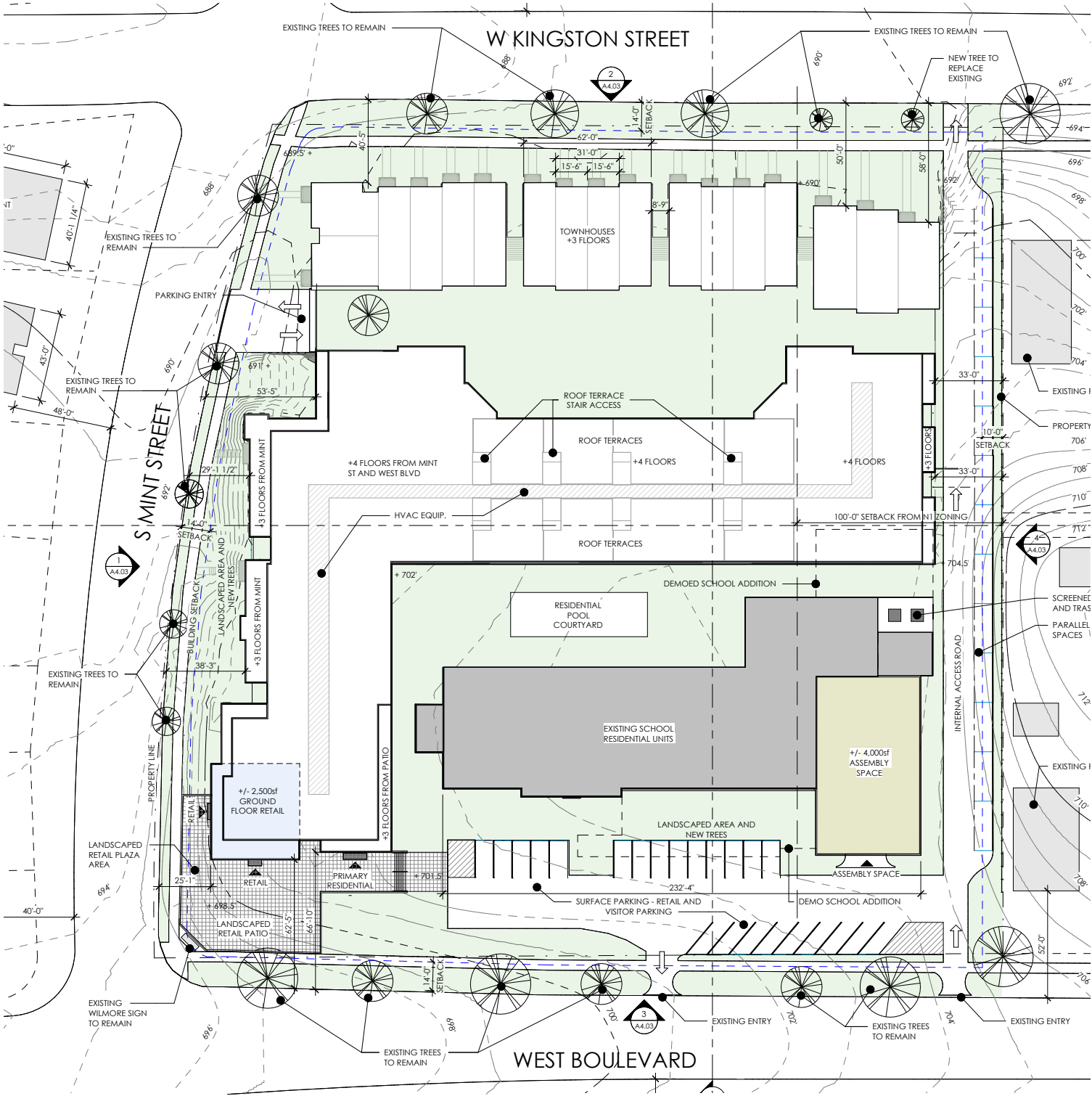


Wilmore School Site

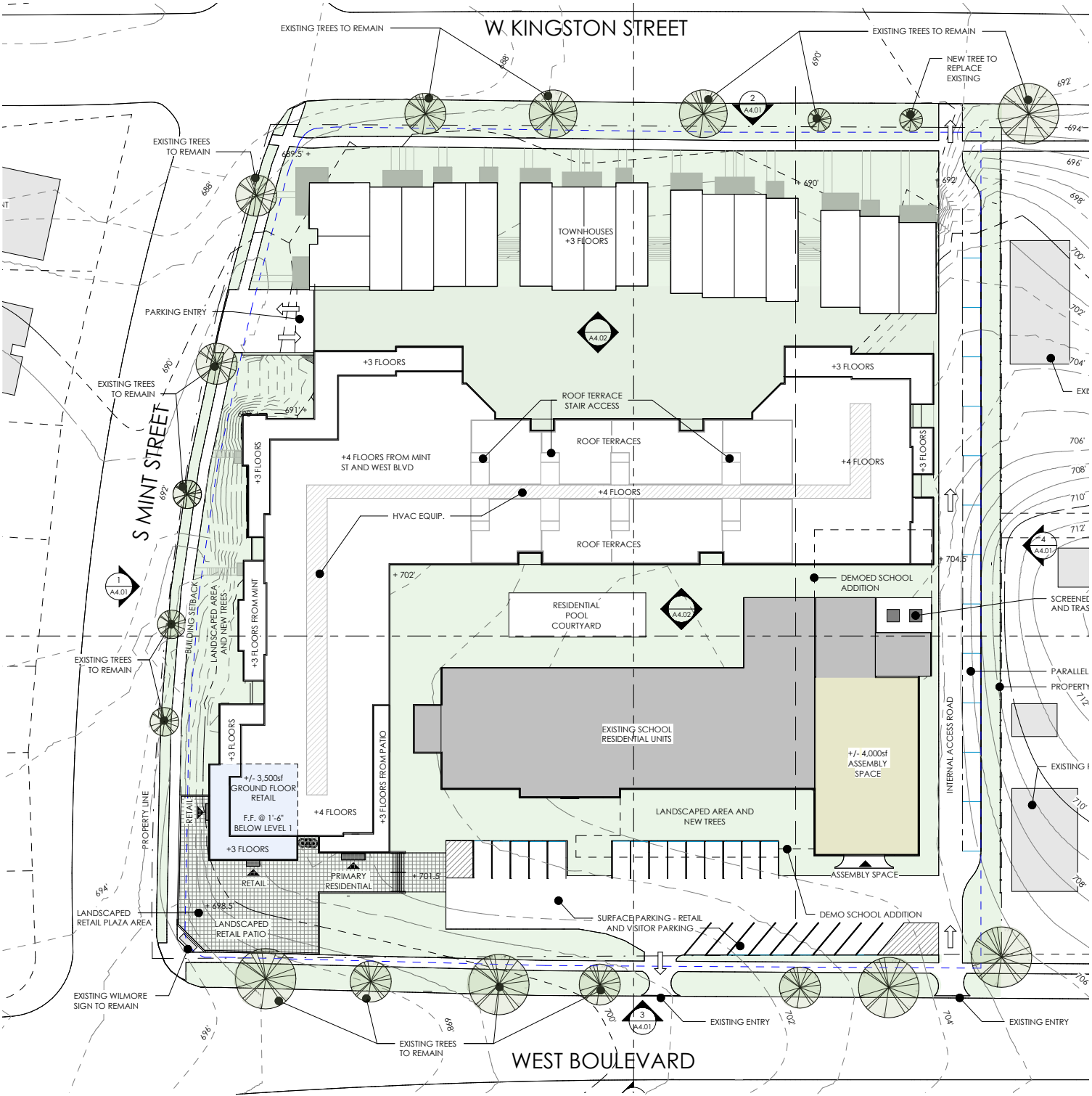
AGENDA SUPPLEMENT
February 14, 2024

Site Plan - Revision History

Last HDC Meeting - December 2023



Current



Elevations - Revision History

Last HDC Meeting - December 2023



Kingston Ave Front Elevation

Current



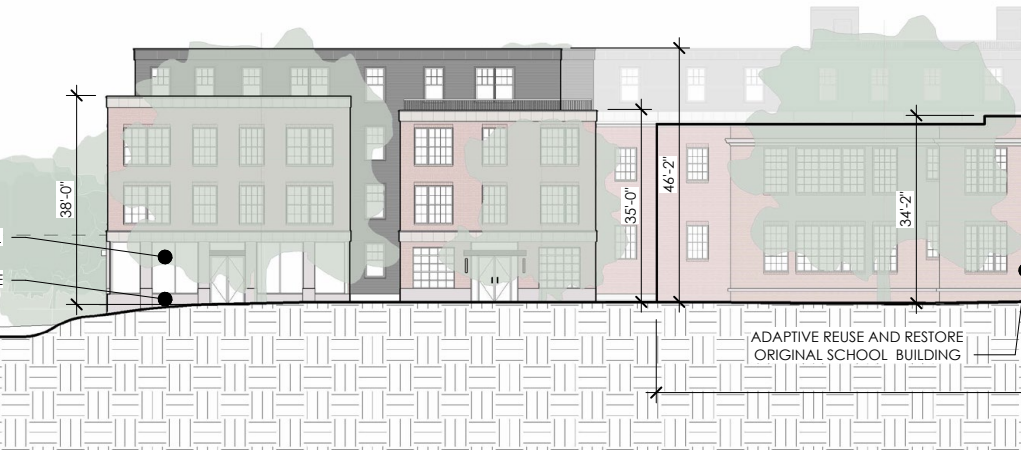
Kingston Ave Front Elevation

Elevations - Revision History

Last HDC Meeting - December 2023



Mint St Front Elevation

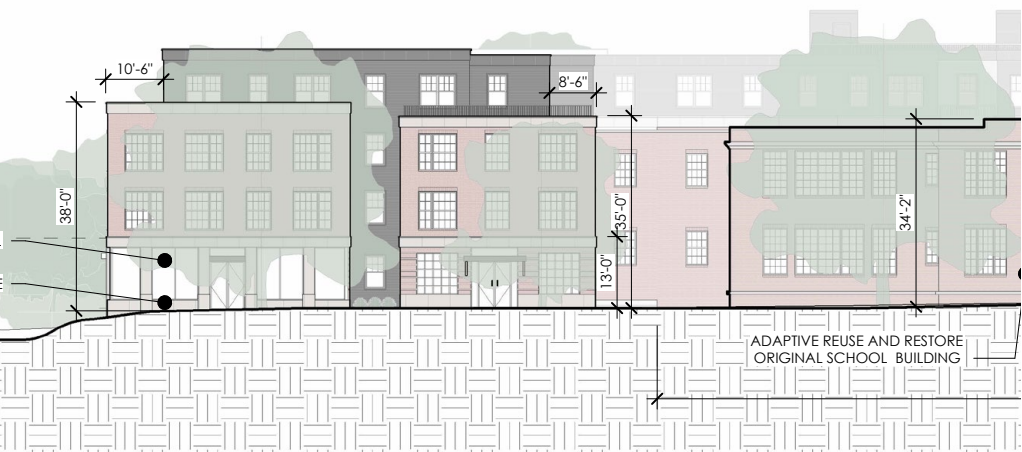


West Blvd Front Elevation

Current



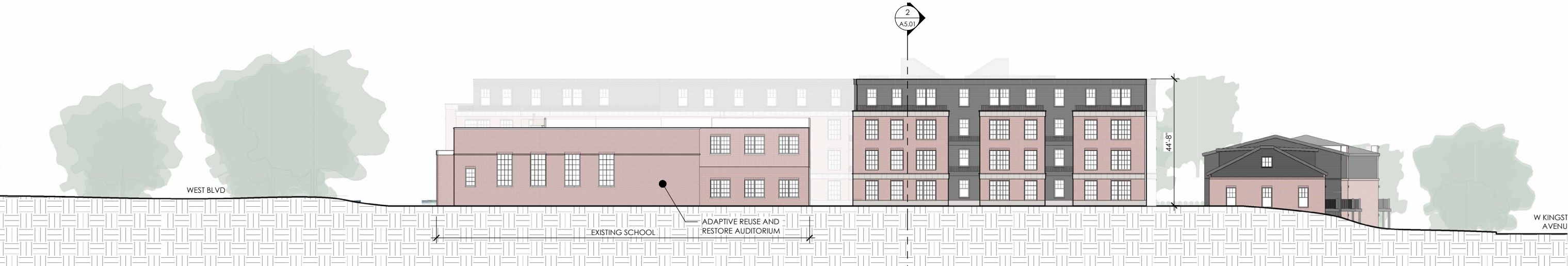
Mint St Front Elevation



West Blvd Front Elevation

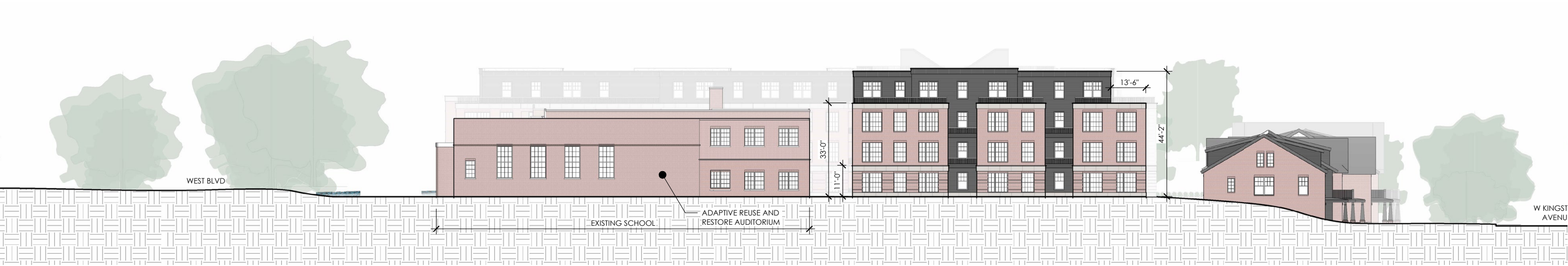
Elevations - Revision History

Last HDC Meeting - December 2023



East Property Line Side Elevation

Current



East Property Line Side Elevation

Streetscape Rendering - Kingston Ave from East



Streetscape Rendering - Straight-on View From across Kingston Ave



Streetscape Rendering - View From Far Corner of Mint St and Kingston Ave



Streetscape Rendering - View From Far Corner of Mint St and West Blvd



Streetscape Rendering - Straight-on View From Across West Blvd



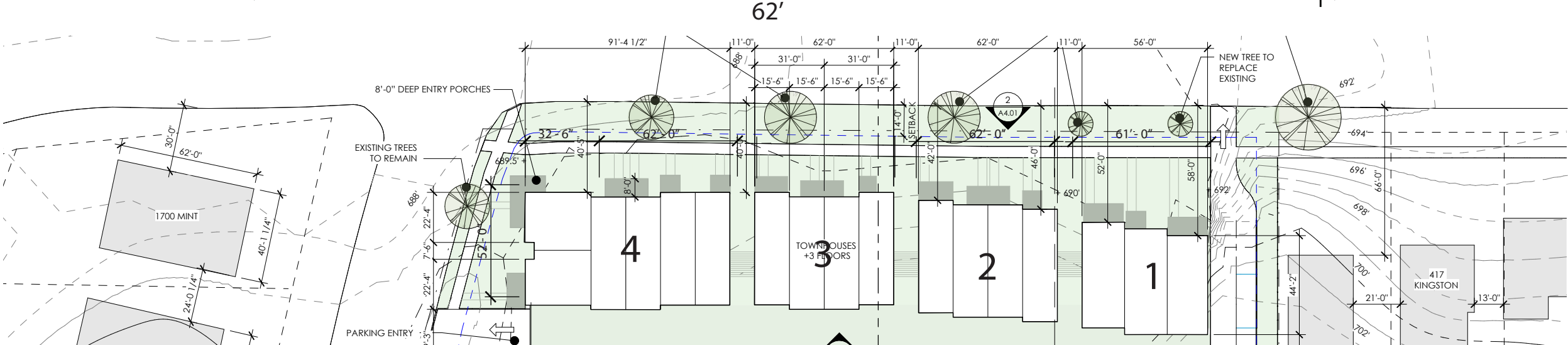
Sreetscape Rendering - West Blvd View from East



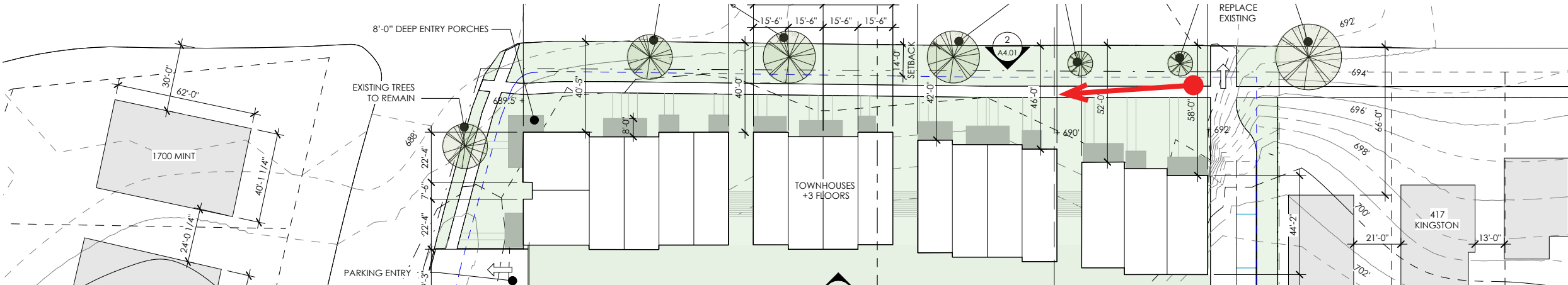
Townhouses - Kingston Elevation in Context



Townhouses - Details and Spacing at Kingston Ave



Townhouses - Details at Kingston Ave



Townhouses - Grouping 1 Detail Elevation - Front / Kingston Ave

Note: All Materials to Be Traditional



Townhouses - Grouping 1 Detail Elevation - East / Property Line

Note: All Materials to Be Traditional

- Asphalt Shingle
Roof, Min. 3/12
Slope
- 1x4 Lap Siding at
Upper Floors
- Smaller 4 over 4
Windows, Shift in
Scale Upper Floor
- Soldier Course Brick
at Window Header
- 6 over 1 Windows
- Modular Brick at
Lower Floors
- Cast Stone Base



Townhouses - Grouping 2 Detail Elevation - Front / Kingston Ave

Note: All Materials to Be Traditional



Townhouses - Grouping 3 Detail Elevation - Front / Kingston Ave

Note: All Materials to Be Traditional

- Asphalt Shingle
Roof, Min. 3/12
Slope
- 1x4 Lap Siding at
Upper Floors
- Smaller 4 over 4
Windows, Shift in
Scale Upper Floor
- Soldier Course Brick
at Window Header
- 6 over 1 Windows
- 1x7 Lap Siding at
Lower Floors
- 8'-0" Entry Porch
with Standing
Seam Metal Roof
- Painted Wood
Column with Brick
Base
- Cast Stone Base



Townhouses - Grouping 4 Detail Elevation - Front / Kingston Ave

Note: All Materials to Be Traditional



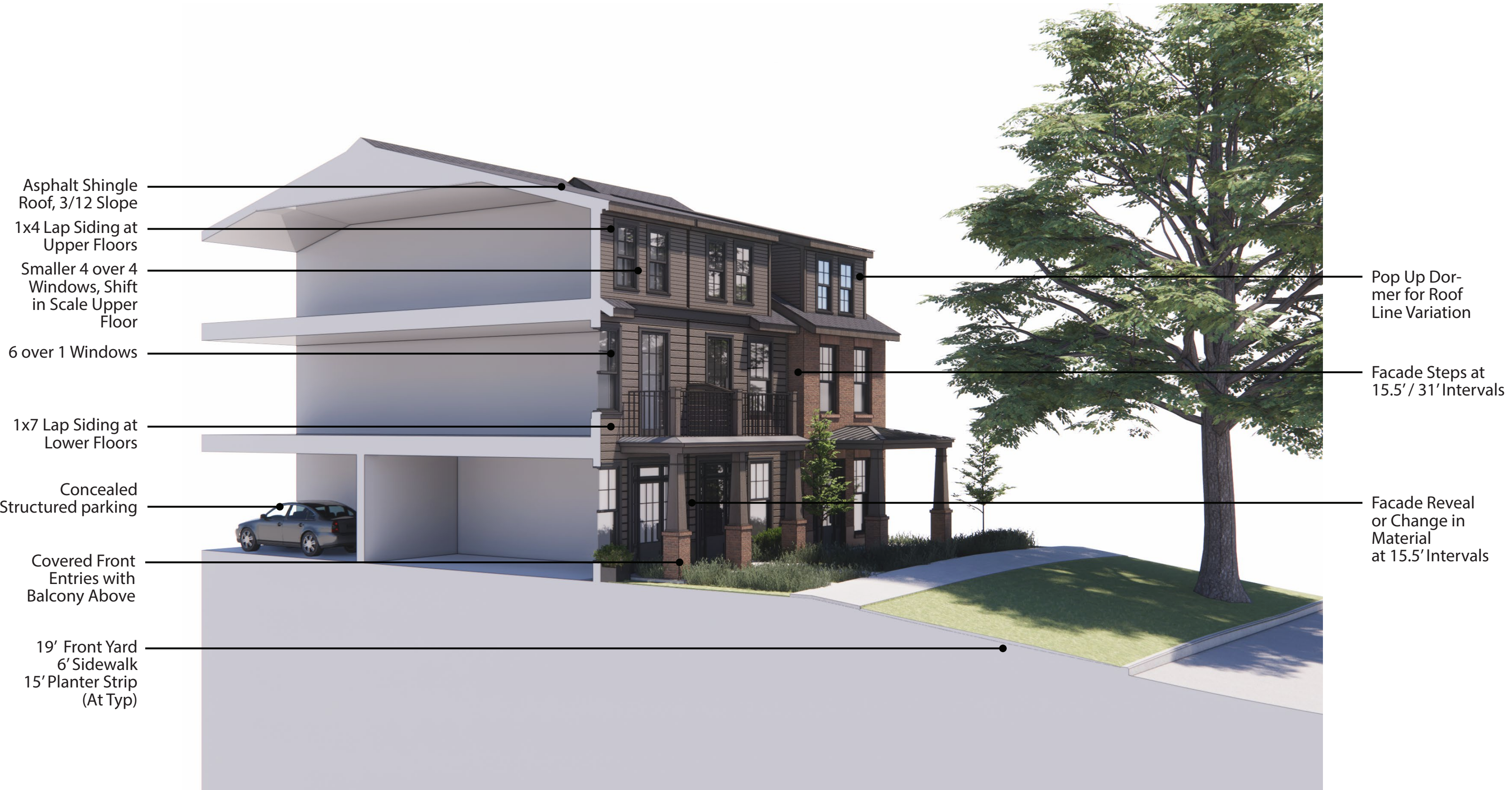
Townhouses - Grouping 4 Detail Elevation - West / Mint Blvd

Note: All Materials to Be Traditional



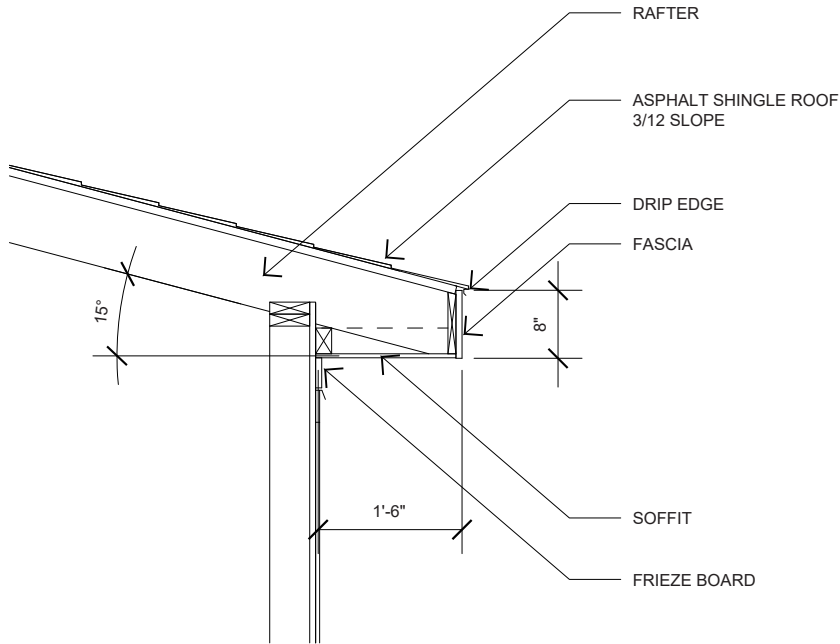
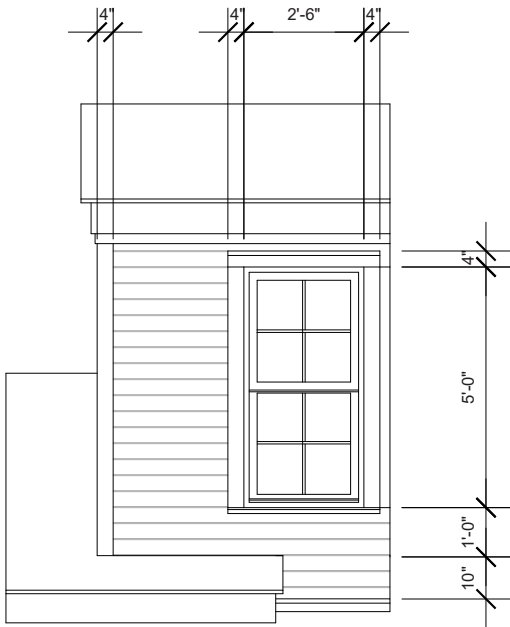
Townhouses - Architectural Details at Kingston Ave

Note: All Materials to Be Traditional



Townhouses - Architectural Details

Note: All Materials to Be Traditional



01

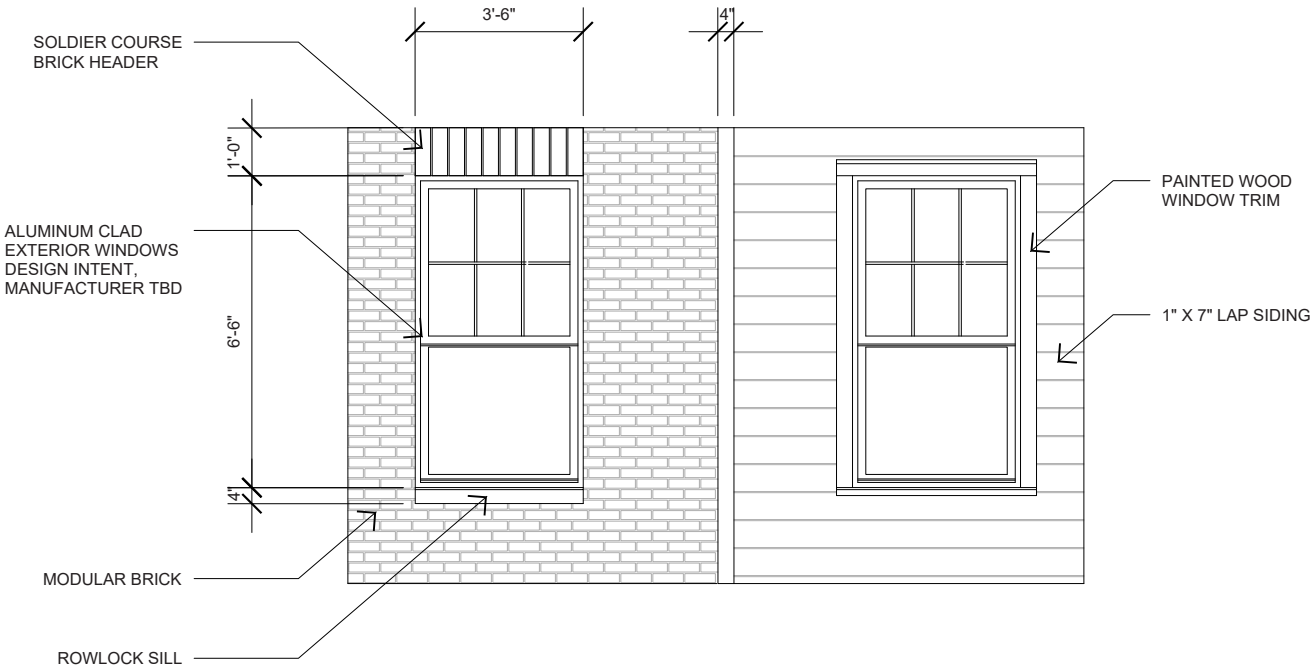
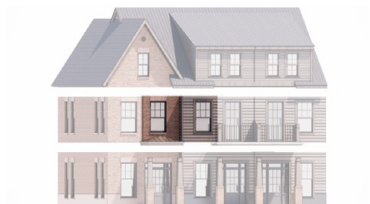
DORMERS & EAVES

1/4" = 1'-0"

02

DORMERS & EAVES

1/2" = 1'-0"



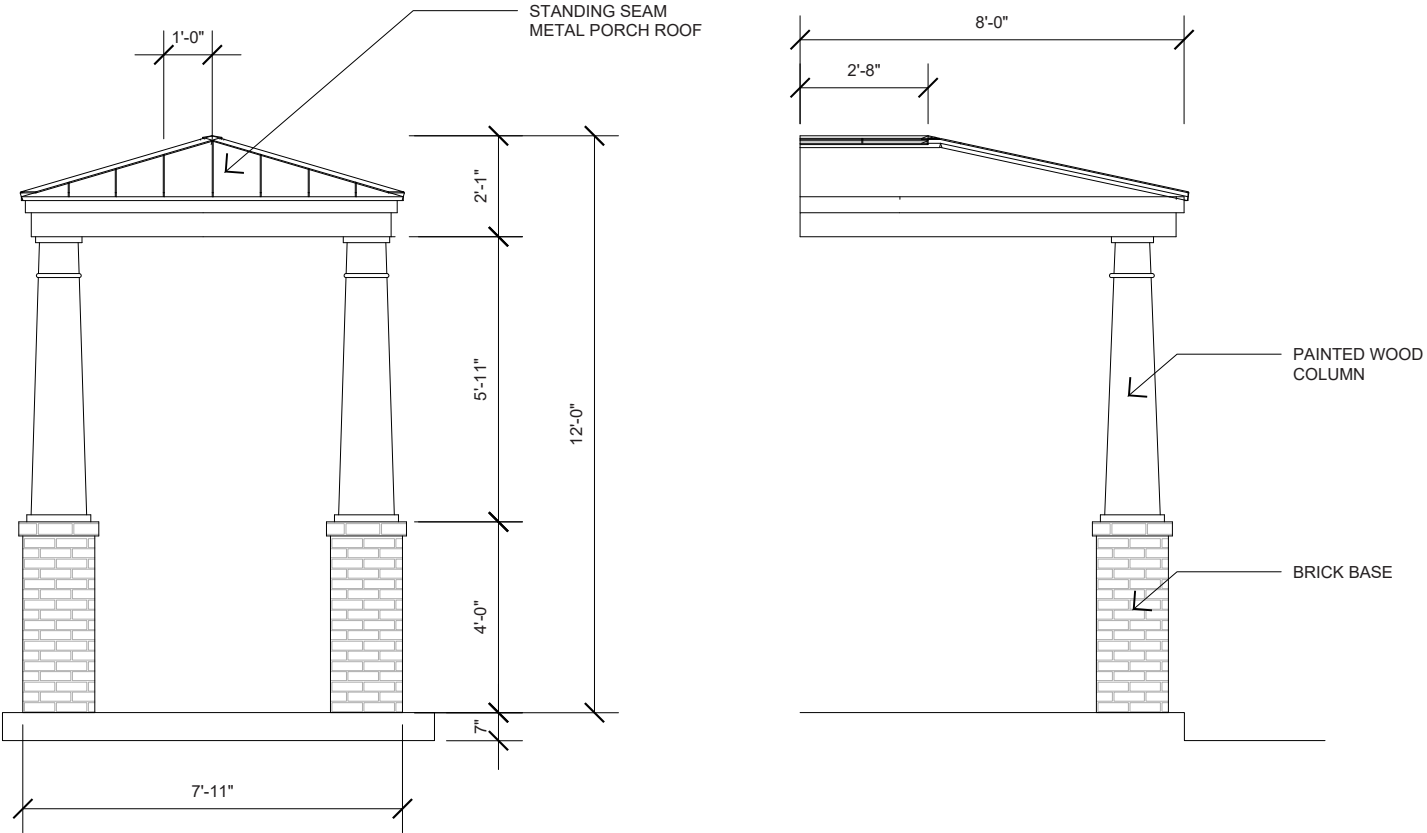
03

WINDOWS

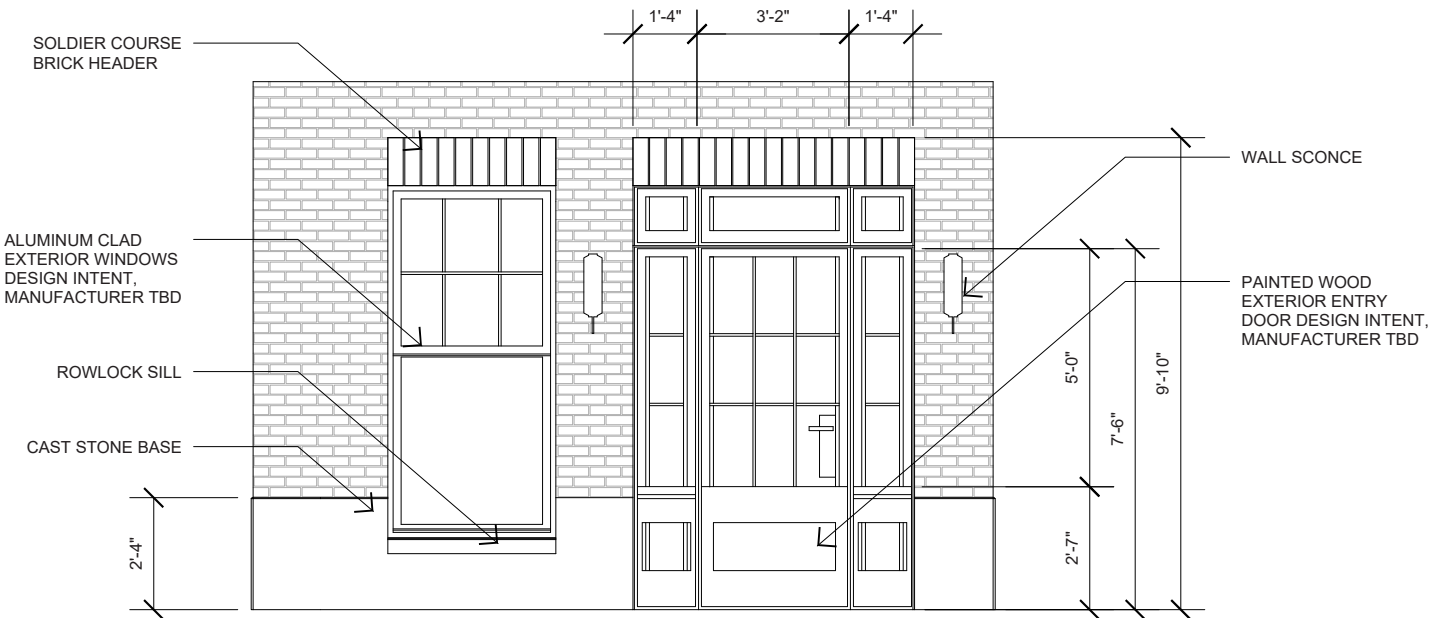
1/4" = 1'-0"

Townhouses - Architectural Details

Note: All Materials to Be Traditional



04 ENTRANCE PORCHES
1/4" = 1'-0"



05 ENTRANCE DOORS
1/4" = 1'-0"

Gateway - Mint St Detail Elevation

Note: All Materials to Be Traditional



Gateway - West Blvd Detail Elevation

Note: All Materials to Be Traditional



Gateway - Architectural Details at Mint St

Note: All Materials to Be Traditional



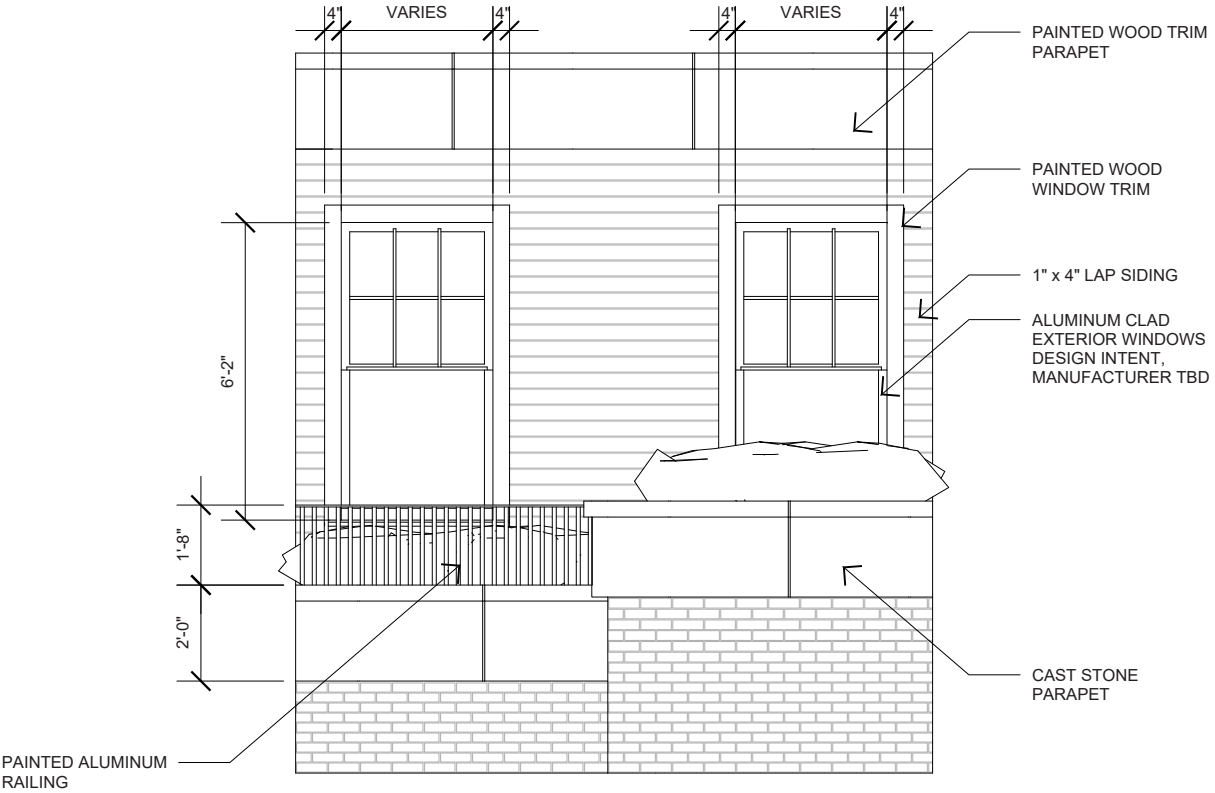
Gateway - Architectural Details at West Blvd

Note: All Materials to Be Traditional

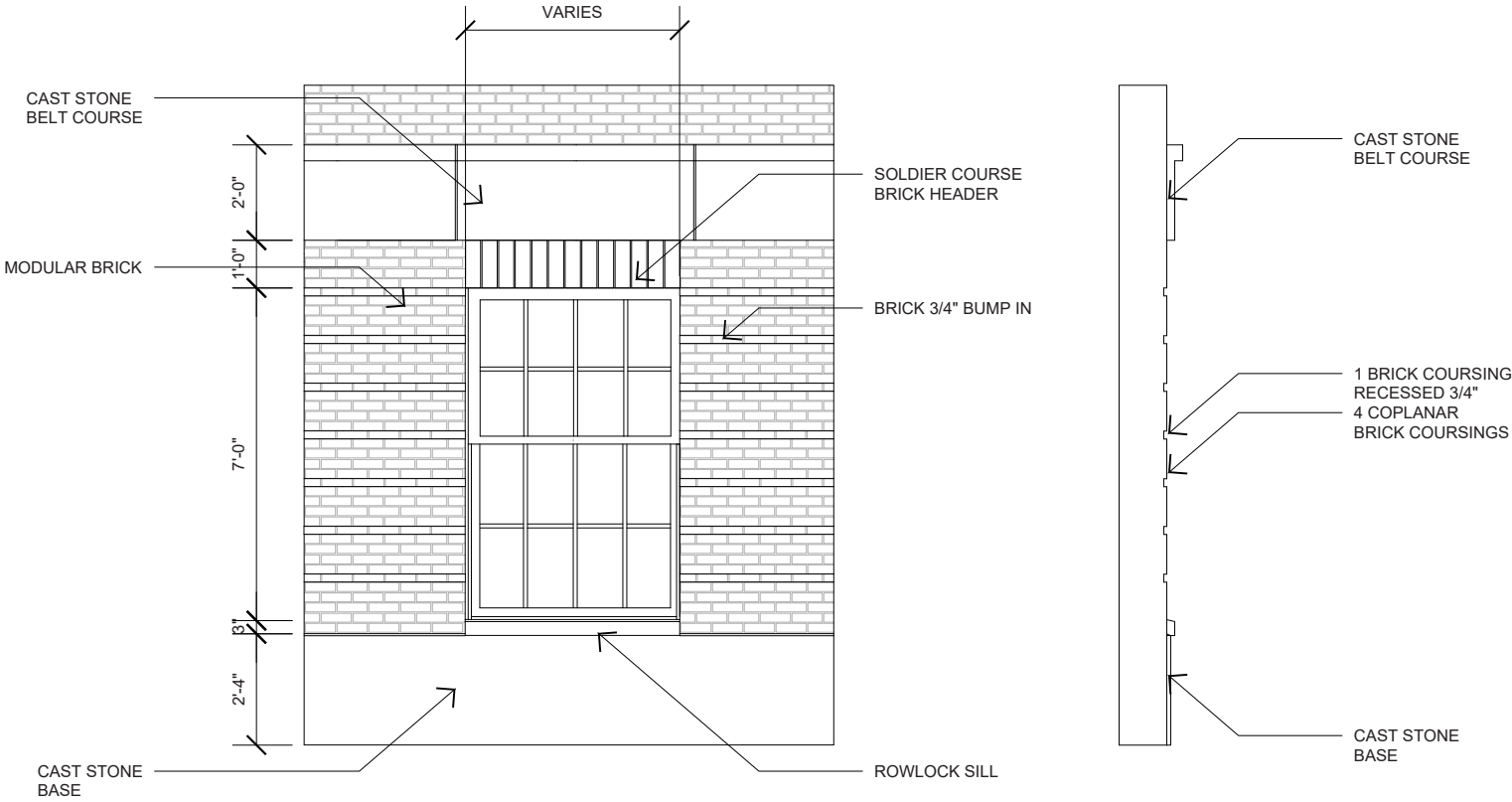
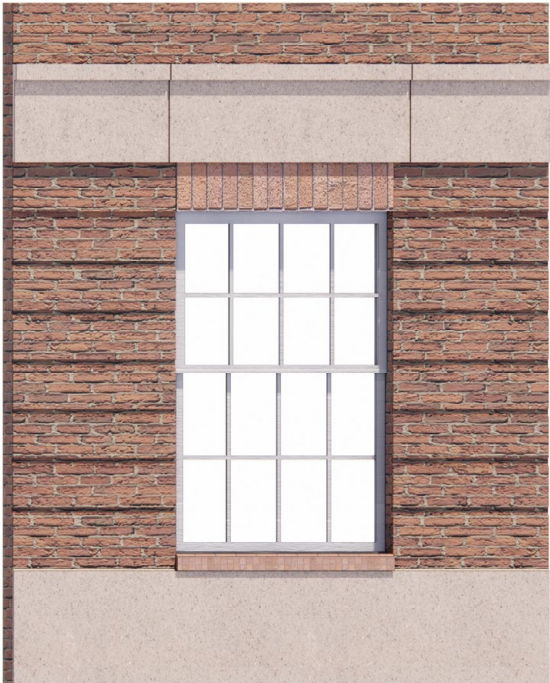


Gateway - Architectural Details

Note: All Materials to Be Traditional



01 PARAPET & SETBACK TERRACES
1/4" = 1'-0"



02 GROUND LEVEL & ENTRY DOORS
1/4" = 1'-0"

Current State of the Historic Wilmore School

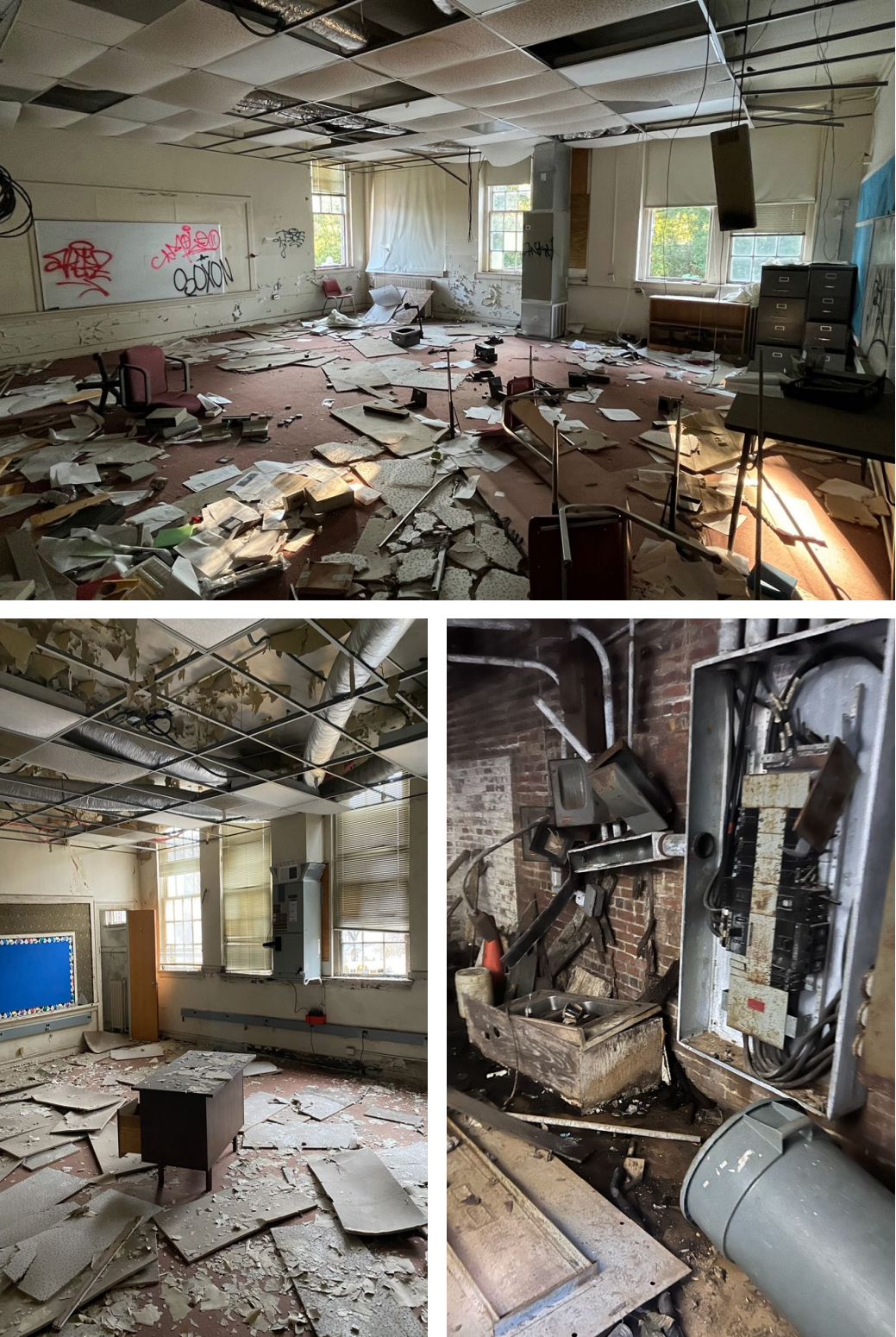
Extreme Differential Settlement - AKA Sinking



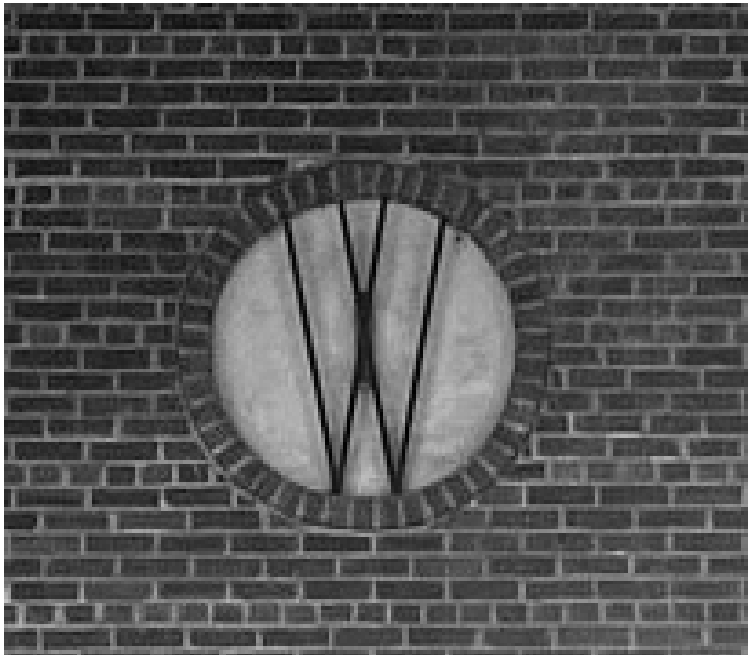
Excessive Basement Water Damage and Corrosion



Excessive Vandalism, Theft and Safety Hazard



Thank You!



SCARBOROUGH FAMILY

AveryHall



ALB DESIGN STUDIO

Information Submitted by the Public

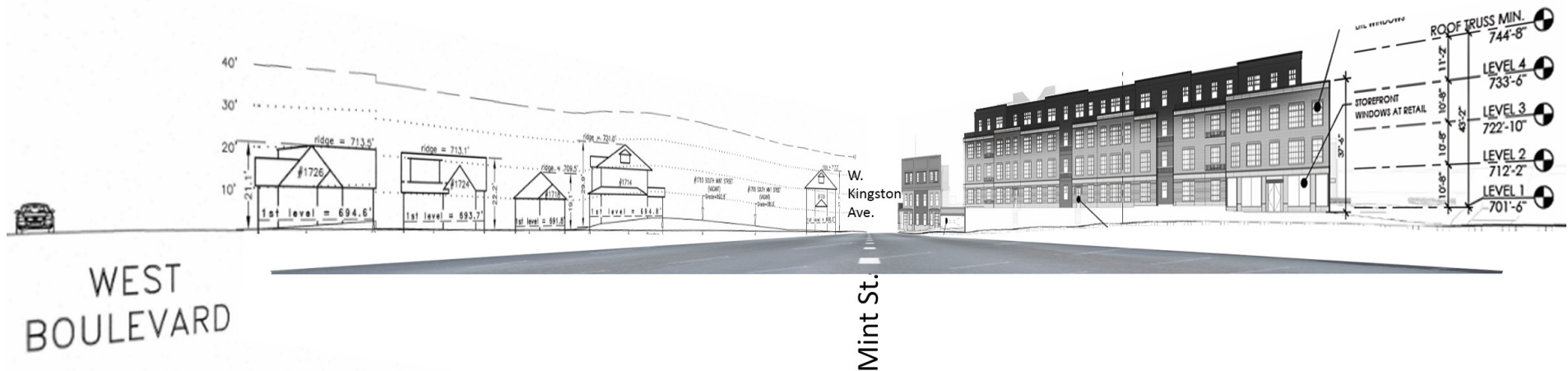
Sam Skains and Michael Menchaca

417 W Kingston Av

Proposed Development – “Gateway” Apartment Building



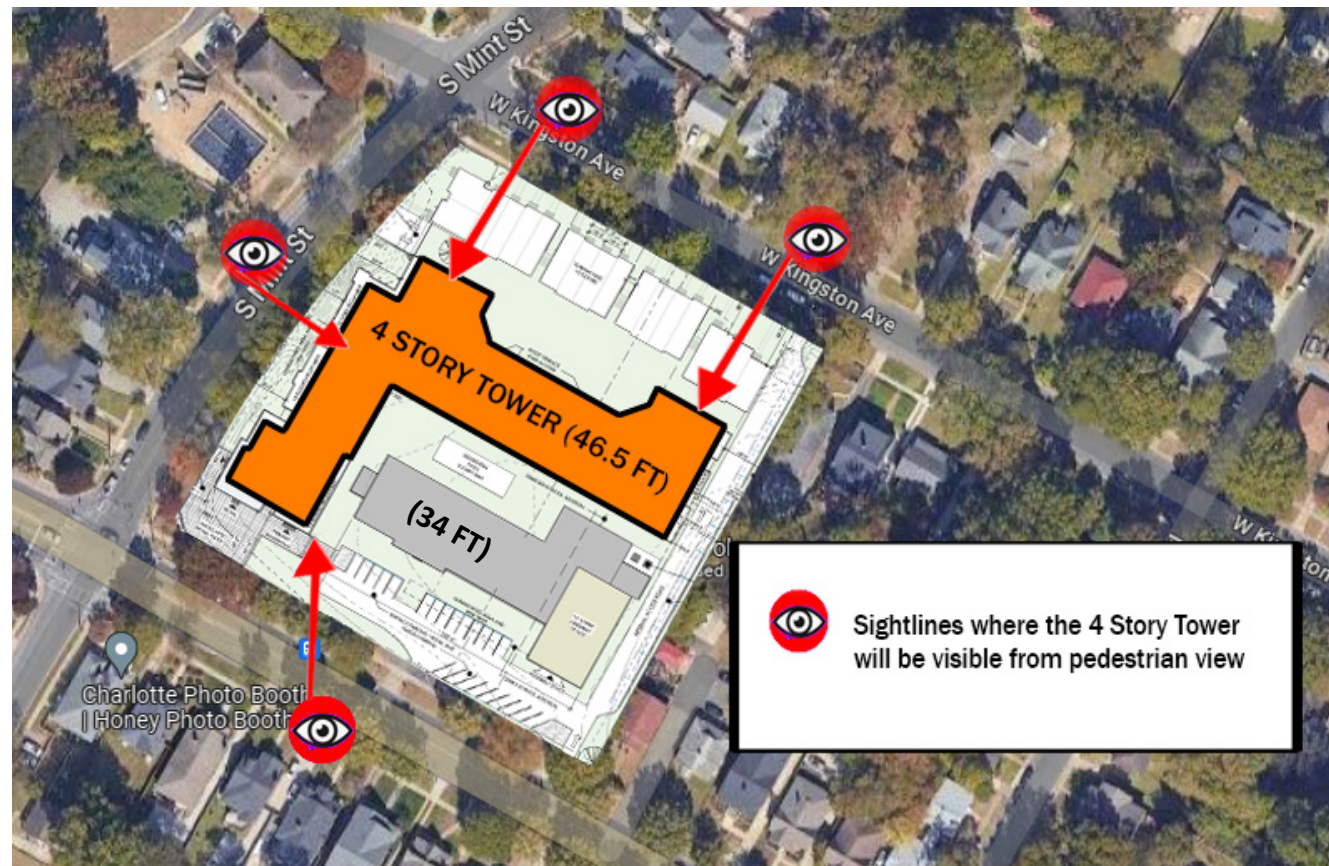
Proposed Development – “Gateway” Apartment Building



Proposed Development – “Gateway” Apartment Building

Proposed tower will be significantly visible from different pedestrian viewpoints.

This will undermine the Historic Wilmore School and the context of the neighborhood.



Proposed Development – Townhomes on W. Kingston



Proposed Development – Townhomes on W. Kingston



Scale of the Proposed Development on West Kingston does NOT respect immediate historic context of neighboring homes.

The 4 Story “Gateway” will be significantly visible on Kingston Ave.

Information Submitted by the Public

Grayson Hawkins

1701 Merriman Av

From: [Grayson Hawkins](#)
To: [Harpst, Kristina](#)
Subject: [EXT]agenda #9 424-428 West Bv (PID 11907801)
Date: Tuesday, February 13, 2024 12:13:01 PM

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe. Please click the Phish Alert button to forward the email to Bad.Mail.

Kristi,

Hey hope all is well. I believe I missed the deadline for letters of support for agenda #9 but I plan on speaking tomorrow so this note may not be necessary.

I have been volunteering in the Wilmore Neighborhood since 2020. My initial responsibilities were in regard to land use and development. The overwhelming ask by the community at that time was to advocate for the preservation of the Historic Wilmore School in some capacity which was assumed would be done as part of a larger mixed-use project. At the start of the CMS sale process, I was again asked to lobby CMS to choose a plan that included the preservation of the historic Wilmore School.

Due to volunteering as WNA president, I have been hesitant to speak up since I do not want to make any broad representations on behalf of the neighborhood when there are individuals with varying degrees of opinion. Speaking on behalf of myself as a Wilmore Neighbor, I think the project currently proposed is incredibly thoughtful, both in terms of historic preservation and architecture, and would be a great outcome for the Wilmore and Charlotte Community. The opposition and HDC have done an incredible job scaling down and enhancing the project. If passed, this will serve as a case study for how the HDC and concerned individuals can work with developers, public entities, community members and historic landmarks to deliver an exceptional outcome. The combination of preserving the school, the subgrade parking and the architecture make the Avery Hall plan extremely compelling. This project is one of the more impressive examples of urban design and placemaking that I have seen anywhere and should be the type of project that receives awards. The historical elements can be admired for generations and nothing in this project resembles the commodity merchant-built product we see elsewhere in Charlotte. There is not a project in Charlotte that has this level design and this low of density while including subgrade parking. I am surprised a project of this quality and scale is financially feasible given the condition of the school building and the cost of construction. My impression is that the developer is going above and beyond to deliver a quality project for the neighborhood. As the central element in the neighborhood, the improved walkability of the area and overall aesthetic would be a great improvement.

I am aware of the HDC's strict set of guidelines when reviewing a project and I believe that this project should be passed as currently presented.

For anyone on the HDC who is unsure about their position, I ask that they consider the significance of preserving and incorporating the historic Wilmore School within the Wilmore Historic District.

I support agenda #9, 424-428 West Bv (PID 11907801), and ask the HDC to support this

project.

Thank you,

Grayson Hawkins

Mobile: 919-219-9928

15. 201 Grandin Rd (PID 07101508)

HDCRMA-[2023-01160](#)

Wesley Heights

Marc Bolous & Davin Stamp, Applicants

HDC Exterior Photos

201 Grandin Road



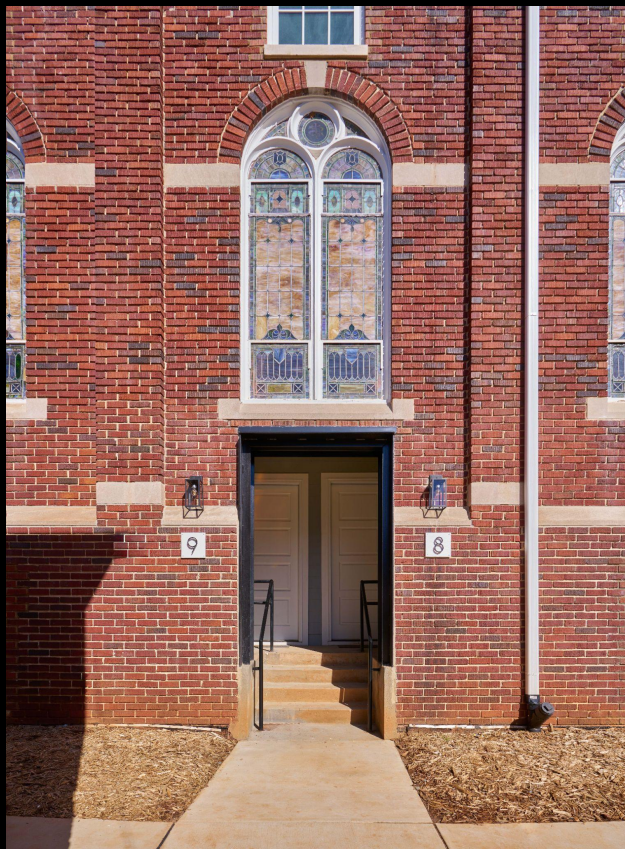
201 Grandin Road
Final Photos of Completed Project



201 Grandin Road
Final Photos of Completed Project



201 Grandin Road
Final Photos of Completed Project



201 Grandin Road
Final Photos of Completed Project



201 Grandin Road
Final Photos of Completed Project