

# Manufactured Home Definition Stakeholders Meeting

Charlotte-Mecklenburg Planning Commission  
December 15, 2006



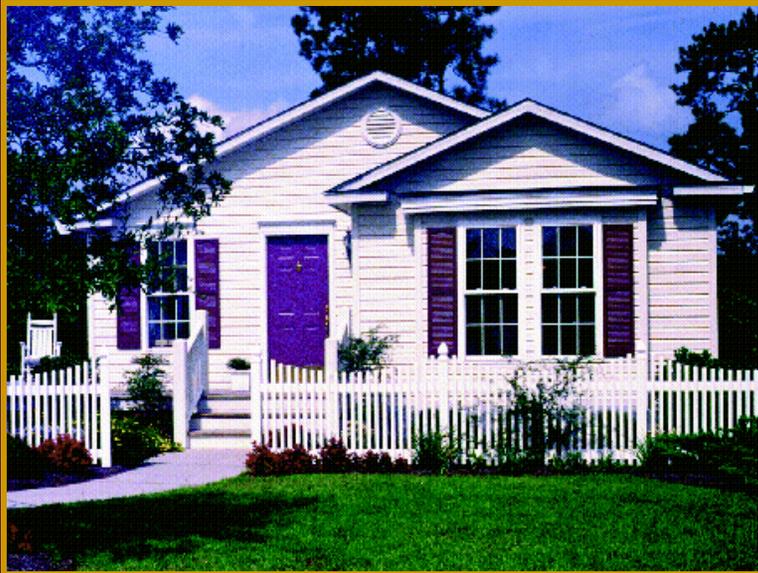
# Agenda

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1. Welcome and Introductions
2. Project Purpose and Background
3. Manufactured Home Information
4. Modular Home Information
5. Issue Identification and Discussion
6. Wrap-Up and Next Steps



# Purpose and Project Background.....



**Neighborhood Concerns to City/County Managers  
July, 2004**

**Neighborhood Meeting of 22 Neighborhoods  
Quality of Life and Zoning Issues Raised  
August 4, 2004**

**City/County Staff Response on Neighborhood Issues  
October 6, 2004**

**City Manager's Report on Neighborhood Issues to City Council  
November, 2004**

**City Manager Refers Zoning Policy Issues to Economic  
Development and Planning Committee  
November, 2004**

**Issues and Schedule Presented to  
Economic and Development Planning Committee  
March, 2005**

**Charlotte-Mecklenburg Planning Commission Adds Six  
Projects to FY 2006 Work Program  
October, 2005**

**Number of Rental  
Units in  
Neighborhoods**

**Institutional  
Uses in  
Residential  
Districts**

**Manufactured Home  
Definition**

**City Makes Rules,  
but County  
Enforces**

**Strengthen  
Neighborhood  
Standards**

**No Parking on Front  
Lawn**

# Stakeholder Charge

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- **Examine the definitions of manufactured home, mobile home, and modular home in the Charlotte Zoning Ordinance and determine if they need to be revised. Stakeholders will also be provided information on how manufactured homes are regulated in Charlotte.**
- **Recommend changes to the definitions, if necessary**

# Role of Staff

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- **Facilitate stakeholder meetings**
- **Provide background information and research materials**
- **Assist Stakeholders in identifying issues with current definitions**
- **Assist Stakeholders with forming recommendations on modifications, if any**
- **Discuss process and timeline for possible modifications**
- **Draft recommendations with input/direction from stakeholders**

# Role of Stakeholders

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- **Identify issues with definitions**
- **Share opinions and ideas**
- **Review materials**
- **Work toward group consensus/agreement**
- **Make recommendations on modifications to the definitions, if any**

# Ground Rules

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- **Treat members with respect**
- **Stay on the topic**
- **Work as team players**
- **Express disagreement without being disagreeable**
- **Offer solutions**
- **Share information**
- **Participate, but don't dominate**
- **Actively engage in the group process**

# Manufactured Home Background Information

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# What is a Manufactured Home? The Federal Definition

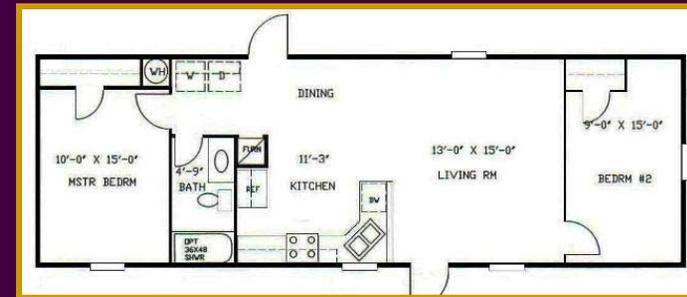
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- A structure, transportable in 1+ sections
- 8' or more in width
- 40' or more in length
- 320 square feet or more in size
- Permanent chassis
- Designed to be a dwelling unit
- With or without permanent foundation
- Includes plumbing, electrical, heating and AC systems



# Many Styles of Manufactured Homes

## SINGLE WIDE



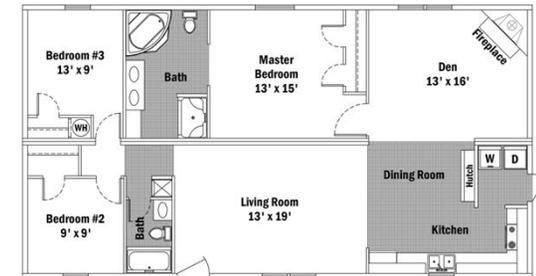
# Many Styles of Manufactured Homes

## DOUBLE WIDE



Which sold for \$1.4M, not including land?

Which sold for \$615,000 excluding \$376,000 for land?



# Many Styles of Manufactured Homes

**MORE THAN TWO SECTIONS**



# Many Styles of Manufactured Homes

## 2 STORY



# Many Styles of Manufactured Homes

## MULTI-SECTION INTERIORS



# FACTS

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- Major source of housing for young families, first-time homebuyers, older adults, and others with limited income.
- North Carolina is 5<sup>th</sup> in nation in sales (shipments) of manufactured homes, and the 11<sup>th</sup> in production (2004)
- In 1999, 31.4% of all new single family homes sold in NC were manufactured homes
- 16.4% of North Carolina's population lived in manufactured homes, in 2000
- 577,323 MH in North Carolina in 2000
- Over 1 million people live in MH in North Carolina

# FACTS

- 2003 US Average sales prices, excluding land cost

Type of Dwelling	Av. Price	Average Size
Single-wide MH	\$31,700	1095
Double wide MH	\$59,800	1735
Conventional Home	\$183,371	2315

# Legislative History



**1974**

- **National Mobile Home Construction & Safety Standards Act**
  - Prohibits states from enacting differing standards
  - Directed HUD to establish construction and safety standards for manufactured homes

# Legislative History



**1976**

- **Federal Manufactured Home Construction & Safety Standards Enacted**
  - **Effective June 15, 1976**
  - **Referred to as the HUD code**
  - **Units built after June 15<sup>th</sup> required to have a HUD certification letter affixed to the unit.**
  - **Modified in '97 to state no community can establish different manufactured home standards.**

# Legislative History



**1980**

- **Housing and Community Development Act**
  - **Term “mobile home” was replaced with “manufactured home”**
    - **Newer units were more durable (HUD code)**
    - **Newer units were less mobile in nature**

# Legislative History



**1987**

- **North Carolina Fair Zoning for Manufactured Housing Law (G.S. 160A-383.1)**
  - **Affordable housing option**
  - **Appearance and dimensional criteria allowed**
  - **Can't exclude MH from entire jurisdiction**
  - **Local governments cannot exclude MH's by establishing different construction standards and safety codes.**
  - **Encouraged cities to examine zoning regulations and provide additional sites for manufactured homes.**

# What is a Manufactured Home? The Federal Definition

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- **A structure, transportable in 1+ sections**
- **8' or more in width**
- **40' or more in length**
- **320 square feet or more in size**
- **Permanent chassis**
- **Designed to be a dwelling unit**
- **With or without permanent foundation**
- **Includes plumbing, electrical, heating and AC systems**

# North Carolina General Statutes Definition of Manufactured Home

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- All the Federal Definition except:
  - Requires permanent foundation
- Plus
  - If units built after 1976: Meets HUD standards
  - If built before 1976:
    - Min. 32' in length
    - Temporary or semi-permanent foundation



# NC vs. Charlotte Definition

	<b>NORTH CAROLINA</b>	<b>CHARLOTTE</b>
<b>TRANSPORTABLE 1+ SECTIONS</b>	Yes	Yes
<b>PERMANENT CHASSIS</b>	Yes	Yes
<b>DESIGNED AS A DWELLING UNIT</b>	Yes	Yes
<b>DESIGNED FOR CONNECTION TO UTILITIES</b>	Yes	Yes
<b>MINIMUM WIDTH</b>	8'+	8'+

# NC vs. Charlotte Definition

	<b>NORTH CAROLINA</b>	<b>CHARLOTTE</b>
<b>MINIMUM LENGTH</b>	<b>40'</b>	<b>32'</b>
<b>PERMANENT FOUNDATION</b>	<b>With or Without</b>	<b>With a permanent foundation</b>
<b>BEARS HUD SEAL</b>		<b>Yes</b>
<b>BUILT OFF-SITE</b>		<b>Yes</b>

# Charlotte's Other Definition: Mobile Home

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- Structure, transportable in 1+ sections
- Minimum 8' wide for travel;
- Minimum 32' in length
- Built on a permanent chassis

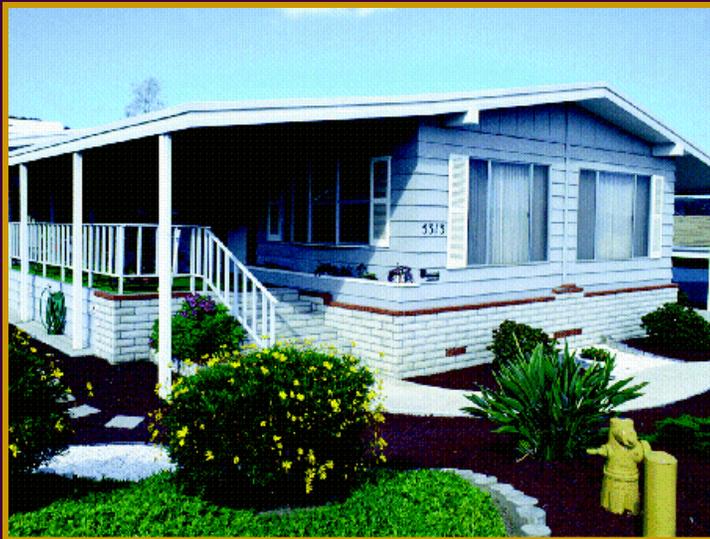


# Summary of the Differences Between the State and Local Definitions:

- Charlotte allows 32' MH
  - 32' MH are not manufactured any more due to Federal/State definitions
  - 32' viewed as a temporary unit or vacation unit by manufacturers
- Charlotte requires a permanent foundation
- Charlotte requires HUD Seal & Built off-site



# Questions?



# Manufactured Home Regulations

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# Manufactured Home Overlay Zoning District

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- **What is an Overlay District?**
  - Adds additional regulations/uses to a base zoning district
- **Where are Manufactured Homes/Mobile Homes Permitted?**
  - A MH must be located in an R-MH Overlay district that exists, or property must be rezoned to R-MH Overlay district

# Manufactured Home Overlay Zoning District

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- **Uses allowed by right :**
  - **Farms**
  - **Manufactured and Mobile Homes**
  - **Service buildings for laundry, recreation, meetings, caretaker office, etc.**
  - **Parks, greenways**
  - **Detached single family homes**

# Manufactured Home Overlay Zoning District

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- Uses allowed with **prescribed conditions**:
  - Adult care home
  - Child care centers in a residence
  - Family child care homes
  - Public utility structures
  - Public utility transmission and distribution lines

# Manufactured Home Overlay Development Standards

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- **Minimum 2 acres; maximum 40 acres**
- **Manufactured home park, mobile home park, or subdivision**
- **30' setback from exterior property line around park**
- **Lot size: minimum of 5,000 square feet**
- **Lot width: minimum of 40'**
- **Structures at least 20' from any internal street**
- **10' minimum side yards between units**
- **Maximum of 6 units per acre**
- **1<sup>st</sup> occupancy in a MH Park: minimum of 4 units**
- **Class C buffer (ranges from 10' to 50' in width) from abutting residential use or residential district.**

# Manufactured Home Overlay Development Standards

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- **8% of area to be devoted to recreational use by residents of the Park**
  - **Gardens**
  - **Outdoor play areas**
  - **Community buildings**
  - **Swimming pools**
  - **Ball courts**
  - **Racquet courts**
- **No service building, office, or common recreational area located adjacent to a public street or property line defining the perimeter of the park/subdivision**

# Manufactured Home Overlay Development Standards

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- Lot/space equipped with electricity, drinking water, wastewater disposal facilities
- Paved, private streets built to City standards
- Internal streets designed to be adequate
- MH placed on permanent stand, as per NCDI
- Area for a permanent patio or deck area: 180 sq. ft. minimum
- Walkways for each lot/space to connect parking spaces to MH entrance

# Manufactured Home Overlay Development Standards

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- Attached structures (awnings, cabana, storage, carport, etc. considered part of the stand for setback purposes
- Area beneath MH fully enclosed with durable skirting within 60 days of placement
- Skirting designed and sold as skirting or otherwise approved by Zoning Administrator

# Manufactured Home Overlay Development Standards

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## Replacement of existing Manufactured & Mobile Homes:

- Existing MH located in non-conforming mobile/manufactured home park in operation at time of adoption of regulations may be replaced with another provided the number of MH units may not be increased beyond the number available before replacement.
- Replacement units cannot create non-conforming setbacks or separation distances
- Replacement units cannot increase non-conformities.

# Questions?

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# Modular Homes

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# Modular Home Definition – North Carolina

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- **Factory-built structure**
- **Designed to be used as a dwelling**
- **Manufactured in accordance with State Residential Building Code**
- **Bears a seal or label by the Department of Insurance**



# Modular Home Definition - Charlotte

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- A dwelling unit which is constructed in compliance with State Building Code
- Composed of components substantially assembled in an off-site manufacturing plant
- Transported to the building site for final assembly
- Has a permanent foundation



# Modular Homes

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- Permitted everywhere conventional stick-built structures are allowed.



# Modular Homes – NC Statutes

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- **2003: State Adopted Minimum Appearance Standards for single-family modular homes (not non-residential modular buildings)**
  - **Rationale: The State authorizes communities to consider appearance codes for manufactured housing, then it follows that appearance codes can be extended to modular housing.**
  - **Equitable application**
  - **Statutes did not give authority to communities to adopt other appearance codes with respect to modular housing.....**

# Modular Homes – NC Statutes

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- **Modular homes undergo Certification inspection to verify the modular home was built to, and erected in compliance with the State Building Code, resulting in a certification label or seal.**
- **To obtain the Certification, minimum appearance standards for Modular Homes must be met:**
  - **Roof pitch: 5' rise /12 feet of run**
  - **Eave projection: No less than 10", which may not include a gutter unless the roof pitch is 8'/12' or greater**
  - **Exterior wall: Min. height: 7' 6" for first floor**

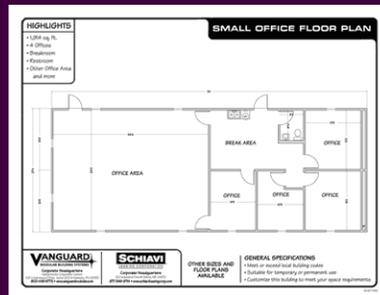
# Modular Homes – NC Statutes

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- **Siding and roofing materials: Compatible in composition, appearance, and durability to exterior materials commonly used in standard residential construction**
- **Foundations: Supports required around the perimeter (piers, pier and curtain wall), piling foundations, perimeter wall, or other approved perimeter supports).**



# Non-Residential Modular Buildings



# Non-Residential Modular Buildings -Issues

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- **Issue: Modular buildings don't blend well into existing neighborhoods**
- **Issue: Modular buildings come to the site in different ways which can complicate identification as a modular unit:**
  - **On flatbed**
  - **On a manufactured chassis which is removed on-site**

# Non-Residential Modular Buildings -Issues

- No State authority to apply appearance codes to modular buildings and not stick-built buildings
- Appearance standards could apply equitably across the board to all non-residential buildings (new urbanist type codes)



# Questions?

## Issue Identification and Discussion

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