

Future Variances
The church reserves the right to request a variance at a later date if necessary.

Tree Notes
Existing trees are to be saved if possible. Removal of some trees may be necessary for relocation of the existing houses. Every effort will be made to save trees 12" and larger on the site.

Tree save areas (final areas to be determined during engineering) shall be maximized to provide undisturbed areas around existing trees and sufficient areas for future growth.

Existing Alleys
The existing alleys located within and adjoining the parcels are in the process of abandonment.

Parking and Drive Configurations
The exact alignments of driveways and number of parking spaces are subject to final design and engineering plans. Accordingly, modifications or

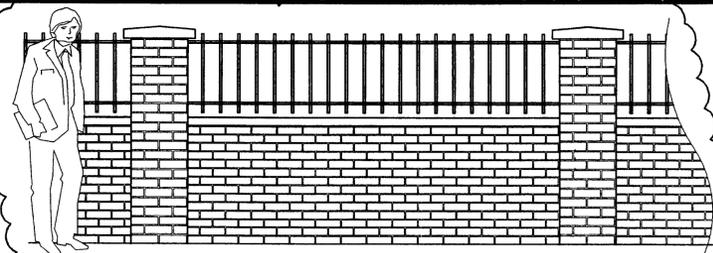
alterations of these alignments and parking counts may take place during design development and construction phases. Reason for modification may include, but not be limited to, utility design, storm water controls, tree save areas, building changes, etc.

Building Configuration
The exact building addition dimensions are subject to change upon final design. Dimensions shown are approximate and subject to change.

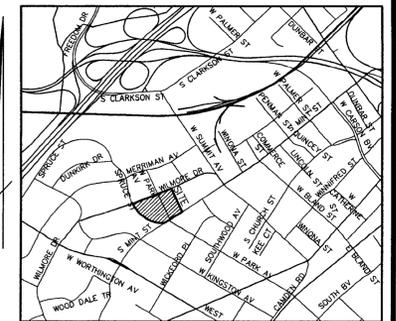
Site Lighting
Parking lot light fixtures shall be full cutoff style to minimize light pollution.

Screening
Screening shall be provided by a brick and wrought iron fence where shown to provide a uniform campus appeal and to conform to neighborhood suggestion.

Greater Galilee Baptist Church 501 West Park Avenue Rezoning Petition 2008-158



- Screening Wall Schematic
- Brick color to match building.
 - Exact design and material of wall cap and column caps to be determined during construction.
 - Total wall height to be five feet (5'). Wall to be 3" high brick with remainder wrought iron.



Location Map
Not To Scale

Christopher A. Bormann PIN 11909601
Martha C. Eppes PIN 11909602
Maurice And Emily B. Williams PIN 11909603
Althar Syed PIN 11909604
Craig W. Monroe and Natasha E. Warren PIN 11909605
Brenda A. White PIN 11909606
Soms Properties LLC PIN 11909607
Jeffrey A. Stevenson PIN 11909608

Church the Trustees Greater Galilee Baptist PIN 11909701
James P. and Kathleen H. Sturdivant PIN 11909702
Church Trustees Greater Galilee Baptist PIN 11909703

Development Data

Existing Zoning: R-5
Proposed Zoning: Mixed Use Development District-Optional

Use: Religious Facilities and Accessory Uses

Tax Parcel Nos.: 119-081-01, 119-081-02, 119-081-03, 119-081-04, 119-081-05, 119-081-06, 119-081-07, 119-081-08, 119-081-09, 119-082-01, 119-082-02, 119-082-03, 119-082-04, 119-082-05, 119-082-06, 119-082-34

Site Area: 2.76± Acres Total (1,72± West of Park Avenue, 1,04± East of Park Avenue)

Site Building Area

(Existing Buildings to Remain)	1,660 sq. ft.
House on PIN 11908109	3,210 sq. ft.
Existing Administration Building	5,212 sq. ft.
Original Church Building	4,798 sq. ft.
Existing Sanctuary Buildings	14,880 ± sq. ft.
Proposed Building Addition	11,780 ± sq. ft.
Total at Proposed Build Out	26,660 ± sq. ft.

Building Data

Building Height of Addition: 39' at roof line
Top of Steeple: 48'

Sanctuary Capacity: 750 seats

Parking

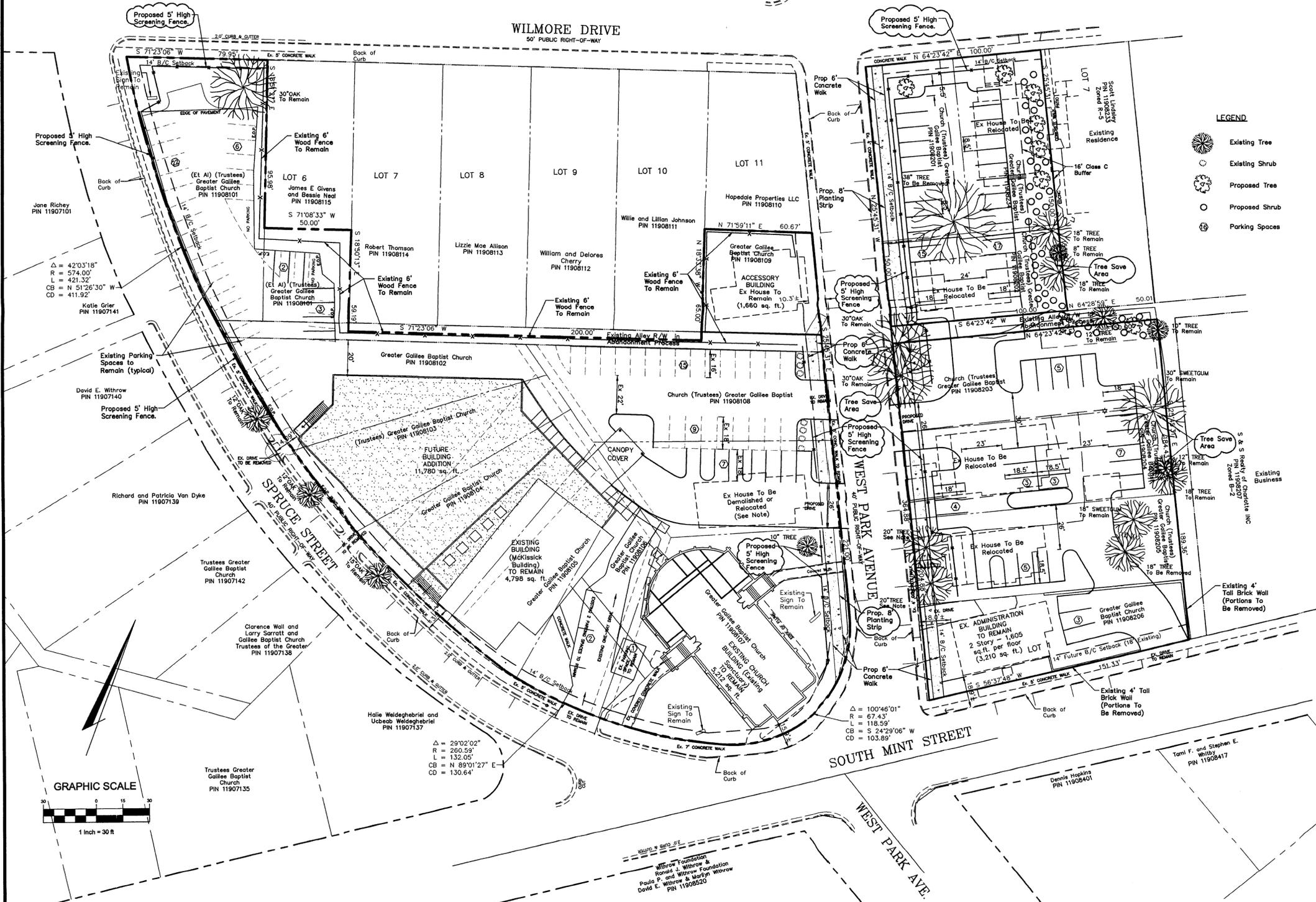
Required Parking Spaces: 1 space per 600 gross sq. ft.
25,000 / 600 = 42 spaces

Provided Parking Spaces: 128 spaces off street (Includes 5 Accessible Spaces)
35 ± on street parallel spaces
163 ± Total Spaces

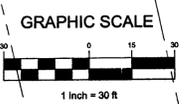
Building Use
The proposed expansion and the existing sanctuary will not be used simultaneously. The intent of the expansion is to provide one congregational area for up to 750 parishioners.

Existing Houses
The church intends to move four (4) of the five (5) existing houses to parcels 11907142, 11907138, 11907135, and/or 11909701 (parcel to be split). The fifth house located next to the existing sanctuary will be moved if the house is deemed fit for moving by the relocation company and/or inspectors; and a suitable property can be found in the neighborhood.

- Optional Requests from MUDD Development Standards**
- The Petitioner is requesting the following variations from the MUDD minimum standards for development as part of this MUDD-O application:
1. Allow existing sidewalks less than six feet (6') in width and without an eight foot (8') tree lawn to remain in place, except those along the east and west sides of West Park Avenue. Any new sidewalks along that area shall be constructed six feet (6') wide with an eight foot (8') tree lawn. The exact route shall be subject to existing trees.
 2. The existing parking spaces along the east side of Spruce Street are requested to remain as shown on the plan. The existing spaces encroach into the 14' back of curb setback.
 3. Building walls for the existing buildings along Spruce Street to be exempt from the Street Walls requirements for percentage of windows and doors. Due to the use of the building being a church, all buildings (existing and proposed) shall be exempt from clear window requirements as many, if not all, of the windows will be decorative glass. Street wall for the proposed expansion to include the wall directly adjacent to Spruce Street right of way only.
 4. The existing signs on the site are to be exempt from the MUDD signage requirements. All existing signage on the site is to remain in its current location and current size.
 5. Parking spaces between West Park Avenue and the existing building/proposed addition are requested to be allowed as an exception to Section 9.8507 (2), which does not allow parking between the permitted use and the required setback.



- LEGEND**
- Existing Tree
 - Existing Shrub
 - Proposed Tree
 - Proposed Shrub
 - Parking Spaces



REVISIONS

MARK	DATE	DESCRIPTION

CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
FOR
CONDITIONAL ZONING PLAN
FOR
GREATER GALILEE BAPTIST CHURCH
501 W. PARK AVENUE
AMENDED PETITION #2008-158

EMHART
Evans Mechwart Hambleton & Tilton, Inc.
301 McClellan Dr., Ste. 107, Charlotte, NC 28202
Phone: 704.548.0333
fax: 704.548.0333
emh.com

DATE: July 9, 2009
Revised: Oct. 12, 2009

SCALE: 1" = 30'

JOB NO.: 2009-0717

SHEET: 1

2008-158
Petition 2008-158
10/14/09



SPRUCE STREET ELEVATION

Greater Galilee Baptist Church
Petition 2008-158 Rendering A
October 14, 2009

2008-158

2008-158



Park
Ave

Greater Galilee Baptist Church
Petition 2008-158 Rendering B
Mint and Park
October 14, 2009

Mint Street



Spruce
Street

Greater Galilee Baptist Church
Petition 2008-158 Rendering C
Mint and Spruce
October 14, 2009



Wilmore
Drive

Spruce
Street

Greater Galilee Baptist Church
Petition 2008-158 Rendering D
Spruce and Wilmore
October 14, 2009



Park Avenue

Greater Galilee Baptist Church
Petition 2008-158 Rendering E
Toward new parking lot
October 14, 2009

An architectural rendering of a church driveway and parking lot. The scene is set under a bright blue sky with scattered white clouds. A wide, paved asphalt driveway, labeled "Park Avenue", runs from the foreground towards the background. To the left of the driveway is a new parking lot, labeled "New Parking Lot", which contains several cars including a blue pickup truck, a red SUV, and a dark sedan. A brick wall with a black metal fence runs along the edge of the parking lot. To the right of the driveway is a well-manicured lawn with several large, leafy green trees. In the background, a two-story brick building with a white porch and columns is visible, partially obscured by trees. The overall scene is bright and clear, suggesting a sunny day.

New
Parking
Lot

Park Avenue

Greater Galilee Baptist Church
Petition 2008-158 Rendering G
Wilmore and Park
October 14, 2009



Park Avenue

Greater Galilee Baptist Church
Petition 2008-158 Rendering F
Toward new sanctuary
October 14, 2009