

**DEVELOPMENT STANDARDS
HIGHWAY 521**

Petition No. 2005-26

SITE DATA TABLE

Acres: Approximately 6.6 acres
Existing Zoning: NS
Proposed Zoning: NS Site Plan Amendment

DEVELOPMENT STANDARDS

Unless more stringent standards are established by this Technical Data Sheet or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the NS zoning district classification shall be followed in connection with development taking place on the Site.

PERMITTED USES

- The Site will be developed as an office/commercial park. The gross floor area of all buildings constructed on the Site may not exceed, in the aggregate, 71,500 square feet. Of this total amount of floor area, no more than 50,000 square feet may be devoted to commercial/retail/restaurant uses as permitted in the NS zoning district classification. The remaining floor area may include uses as allowed in the D-1 zoning district classification with the exception of hotels and motels.
- No fast food restaurants with drive through facilities or gas sales/convenience stores will be permitted on the Site.
- Accessory uses as permitted under Section 11.404 shall be permitted on the Site.

SETBACKS, SIDE YARDS AND REAR YARDS

- All buildings constructed on the Site shall be set back at least 20 feet from the right-of-way line of Highway 521. All buildings shall also satisfy or exceed the rear and side yard requirements established under the Ordinance for the NS zoning district. The Petitioner reserves the right to subdivide the Site and create lots within the interior of the development with no side and/or rear yards as part of the unified development plan.
- No vehicular parking or maneuvering space shall be located between buildings and Highway 521 with the exception of the perpendicular driveway connection to Highway 521.

SCREENING AND LANDSCAPED AREAS

- Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
- Any dumpsters located on the Site shall be screened from view by a solid enclosure with a gate.
- Roof top mechanical equipment shall be screened from public view.
- Large maturing trees shall be installed along the frontage of Highway 521 in accordance with the City of Charlotte Tree Ordinance.

STREETSCAPE TREATMENT

The streetscape treatment along Highway 521 shall conform to Section 11.507 and include large maturing trees within an eight-foot planting strip in accordance with the City of Charlotte Tree Ordinance and a six-foot sidewalk to be located behind the planting strip.

LANDSCAPING AND OPEN SPACE

- A project edge of at least 25 feet in width shall be provided along the easterly and southerly property lines as generally indicated on the Technical Data Sheet. Such project edge shall be landscaped with plantings in accordance with the requirements for a Class B buffer, i.e. nine trees and 40 shrubs per 100 linear feet.
- Petitioner reserves the right to grade and install pedestrian sidewalks or pathways, walls, berms and fences, and utility lines and facilities within the 25 foot project edge.
- No buildings, parking spaces or maneuvering areas may be located within the 25 foot project edge or setback areas with the exception of the driveway connection to Highway 521.

ARCHITECTURAL AND SITE DESIGN CONTROLS

- All buildings which abut Highway 521 will be designed and constructed so that each building has windows that face Highway 521. The Highway 521 elevation of the buildings will incorporate windows that encompass a minimum of 30 percent of the facade and additional architectural fenestration such as cornices, accent lintels, shutters and window surrounds shall be incorporated so that windows and other architectural fenestration combined will encompass a minimum of 40 percent of this elevation.
- Buildings will be located within the building envelopes indicated on the Technical Data Sheet. One or more buildings may be located within each Building Envelope 2 and 3.
- Buildings on the Site shall be constructed using building materials that may include brick, stone and/or natural or synthetic wood siding materials.
- The urban design treatment of the proposed development shall include, at a minimum, the following amenities:
 - a roundabout located within the interior parking area,
 - a planting strip that will serve to provide a break within the parking area as well as a pedestrian refuge island,
 - landscaping within the aforementioned planting strip to include shade trees 25 feet on center,
 - parking areas on the Site designed to connect building elements and encourage pedestrian movement throughout the Site and to the abutting shopping center, and
 - a courtyard area within Building Envelope 2 as shown on the Technical Data Sheet of at least 20 feet in width extending the full length of the building or buildings it adjoins with a six foot sidewalk leading into the interior of the Site, at least two benches for seating purposes, and at least two shade trees and other landscaping. The sidewalk may be constructed of pavers and/or concrete.

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- a planting strip that will serve to provide a break within the parking area as well as a pedestrian refuge island,
- landscaping within the aforementioned planting strip to include shade trees 25 feet on center,
- parking areas on the Site designed to connect building elements and encourage pedestrian movement throughout the Site and to the abutting shopping center, and
- a courtyard area within Building Envelope 2 as shown on the Technical Data Sheet of at least 20 feet in width extending the full length of the building or buildings it adjoins with a six foot sidewalk leading into the interior of the Site, at least two benches for seating purposes, and at least two shade trees and other landscaping. The sidewalk may be constructed of pavers and/or concrete.

PARKING

Off street vehicular parking spaces will satisfy the minimum standards established under the Ordinance. Bicycle parking spaces shall be provided to accommodate one bicycle per each 20 vehicular parking spaces.

CONNECTIVITY AND SIDEWALKS

- Petitioner shall provide for vehicular connectivity to the abutting shopping center prior to the issuance of a certificate of occupancy for the first building on the Site.
- A sidewalk system shall be provided throughout the Site as well as to the abutting shopping center tract. Sidewalks shall be provided within the parking lot to provide for pedestrian access between the various buildings on the Site as well as between the Site and the abutting shopping center. However, the sidewalk associated with each building will not be required to be installed until such time as the relevant building has been completed.
- Pedestrian access from Highway 521 into the Site shall be provided along the main vehicular entrance and through one additional pedestrian connection.
- Petitioner shall provide for pedestrian connectivity to the abutting property located to the south of the Site in the manner generally depicted on the Technical Data Sheet. In addition, in the event that the abutting property to the south of the Site is developed primarily for residential, office or retail uses, the Petitioner agrees to provide vehicular connectivity to the southern boundary of the Site in a location and pursuant to a design acceptable to the Petitioner, provided that such obligation to provide for vehicular connectivity shall be subject to the negotiation and documentation by the Petitioner and any such adjoining property owner(s) of customary cross easement and maintenance agreements satisfactory to the Petitioner, it being understood that the Petitioner shall use good faith efforts to negotiate and enter into any such agreements.

LIGHTING

- All freestanding lighting fixtures will be uniform in design.
- The height of any freestanding lighting fixture, including its base may not exceed 30 feet.
- Wall pack lighting will not be allowed.

SIGNS

All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

ACCESS POINTS (DRIVEWAYS)

- The number of vehicular access points to the Site shall be limited to the number depicted on this Technical Data Sheet.
- The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the City of Charlotte and/or the North Carolina Department of Transportation.

PHASING/TRANSPORTATION

As outlined above, the Site may be developed as an office/commercial park with up to 71,500 square feet of floor area. Of this total amount of floor area, up to 50,000 square feet may be devoted to commercial/retail/restaurant uses and the remaining floor area may include uses as allowed in the D-1 district with the exception of hotels and motels.

In the event the allowable floor area on the Site, as outlined above, is devoted to office uses, such development may occur prior to the construction of any additional improvements to the area thoroughfares.

In addition, the allowable floor area on the Site may include up to 15,000 square feet of commercial/retail/restaurant uses prior to the construction of any additional improvements to the area thoroughfares if no more than 14,650 square feet of office uses are also developed on the Site.

In the event the allowable floor area on the Site is devoted to more than 15,000 square feet of commercial, retail and/or restaurant floor area, such development shall await the construction of the following improvements to the intersection of Lancaster Highway (SR 4982) and Highway 521:

- * Construction of an eastbound right turn lane on Lancaster Highway with a minimum of 375 feet of storage and a 20:1 bay taper,
- * Extension of the northbound left turn lane on Highway 521 at Lancaster Highway to 200 feet and,
- * Extension of the southbound left turn lane on Highway 521 at Lancaster Highway to 150 feet.

FIRE PROTECTION

Adequate fire protection in the form of fire hydrants will be provided to the Fire Marshal's specifications.

STORM WATER MANAGEMENT

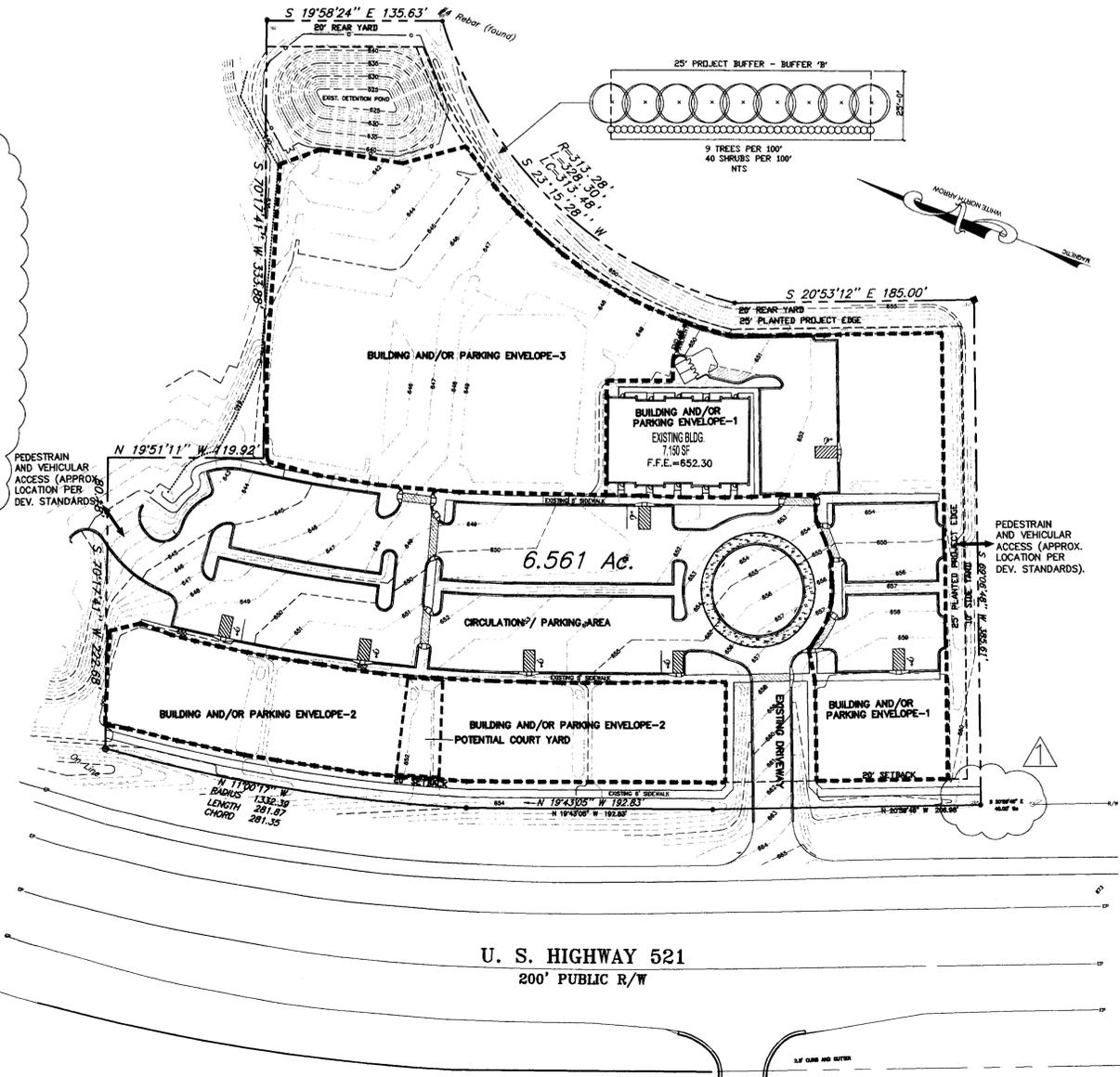
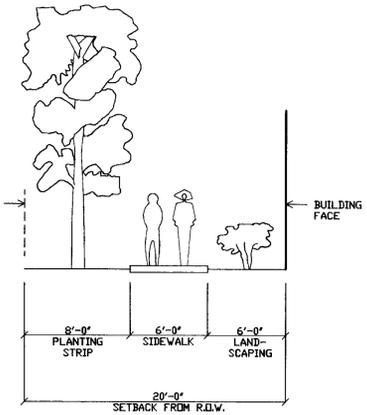
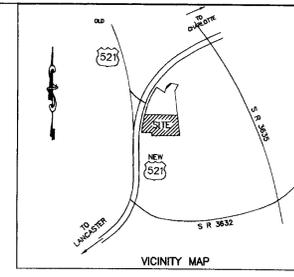
- Storm water runoff from the Site will be managed through proven techniques which satisfy the standards, if any, imposed by the City of Charlotte Engineering Department.
- Surface level storm water detention will not be located in the setback or 25 foot project edge.

AMENDMENTS TO REZONING PLAN

Future amendments to this Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

BINDING EFFECT OF THE REZONING APPLICATION

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and this Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

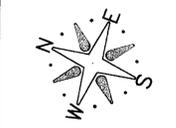


FOR PUBLIC HEARING PETITION No. 2005-26

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James McGovern & Associates
Consulting Engineers

Project: Hunters Crossing Business Park
Sheet Title: Hwy 521 Charlotte, North Carolina



Graphic Scale:
0 25 50 100
(IN FEET)

Scale: (1"=50')
Engineer
James J. McGovern
Senior Designer:
Ted W. Lawrence
Date
11.18.2004

Revisions	
No 1	Date 1.20.2005
No 2	Date 3.28.2005
No	Date

Dwg. No. \114026.dwg
Project Number 144.026
Sheet No. No. of Sheet

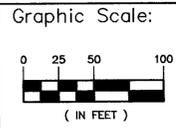
APPROVED BY CITY COUNCIL
Date 3/21/05

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Hunters Crossing Business Park
 Hwy 521
 Charlotte, North Carolina
 ILLUSTRATIVE
 SITE PLAN

Project
 Sheet Title



Scale: (1"=50')
 Engineer
 James J. McGovern
 Senior Designer:

Ted W. Lawrence
 Date
 11.18.2004

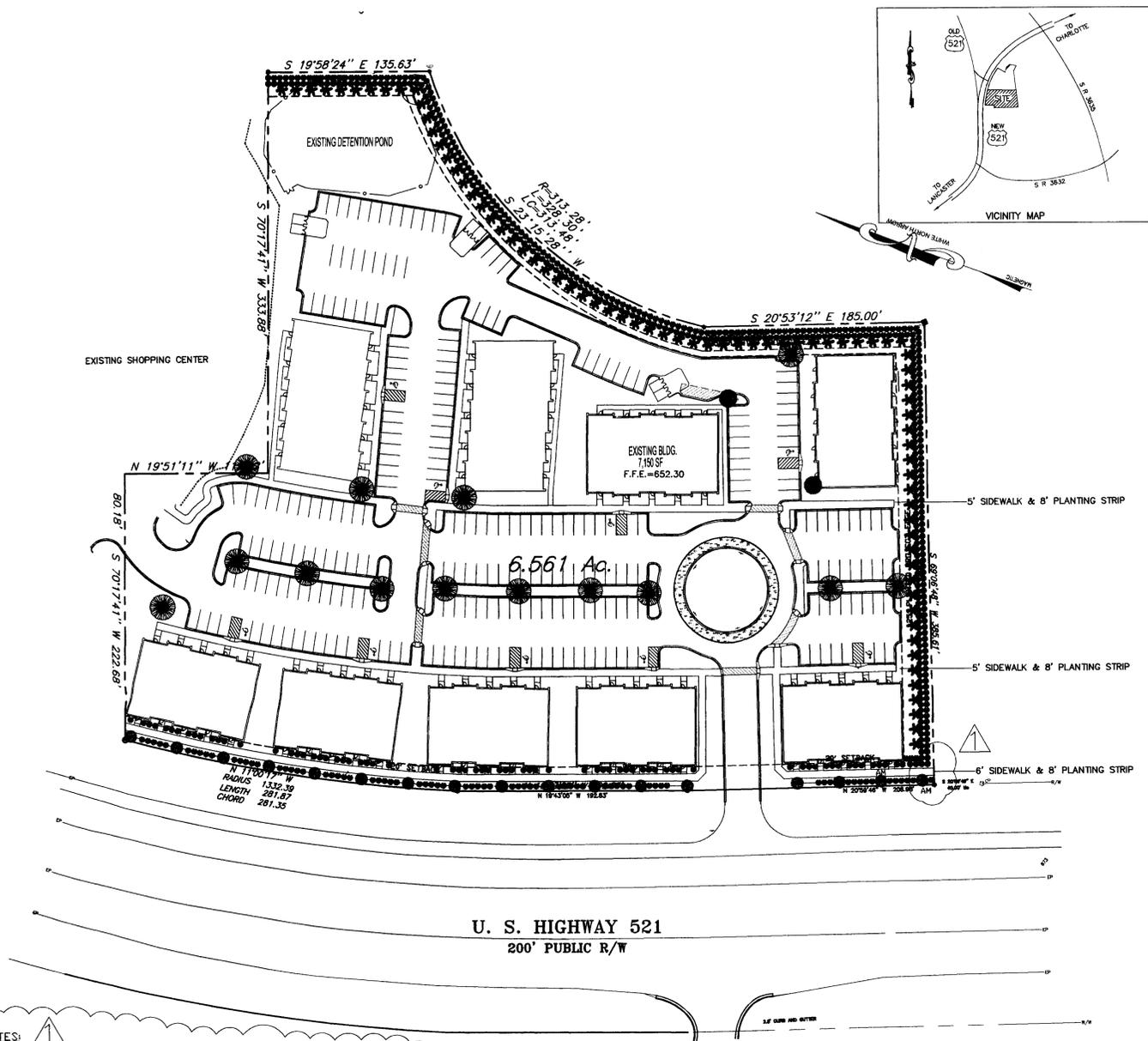
Revisions

No	Date
1	1.20.2005
No	Date

Dwg. No.
 \114026\dwg\rezoningbase

Project Number
 144.026

Sheet No. No. of Sheet
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- NOTES:
1. THIS PLAN IS ILLUSTRATIVE IN NATURE AND SUBJECT TO CHANGE PENDING FINAL SITE PLAN DOCUMENTS.
 2. ALL BUILDINGS LOCATED ON TRACT SHALL BE BUILT TO THE RELEVANT SETBACK LINE, HOWEVER THE PLACEMENTS, CONFIGURATIONS AND SIZES OF SUCH BUILDINGS DEPICTED ON THE SCHEMATIC SITE PLAN ARE CONCEPTUAL AND THE SAME MAY BE ALTERED OR MODIFIED DURING DESIGN DEVELOPMENT AND CONSTRUCTION DOCUMENT PHASES SUBJECT TO THE REQUIREMENT THAT SUCH BUILDING BE BUILT TO THE RELEVANT SETBACK LINE.

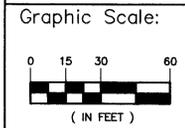
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Project: **Hunters Crossing Business Park**
 Sheet Title: **Hwy 521 Charlotte, North Carolina**
 EXISTING CONDITION

Project: _____
 Sheet Title: _____

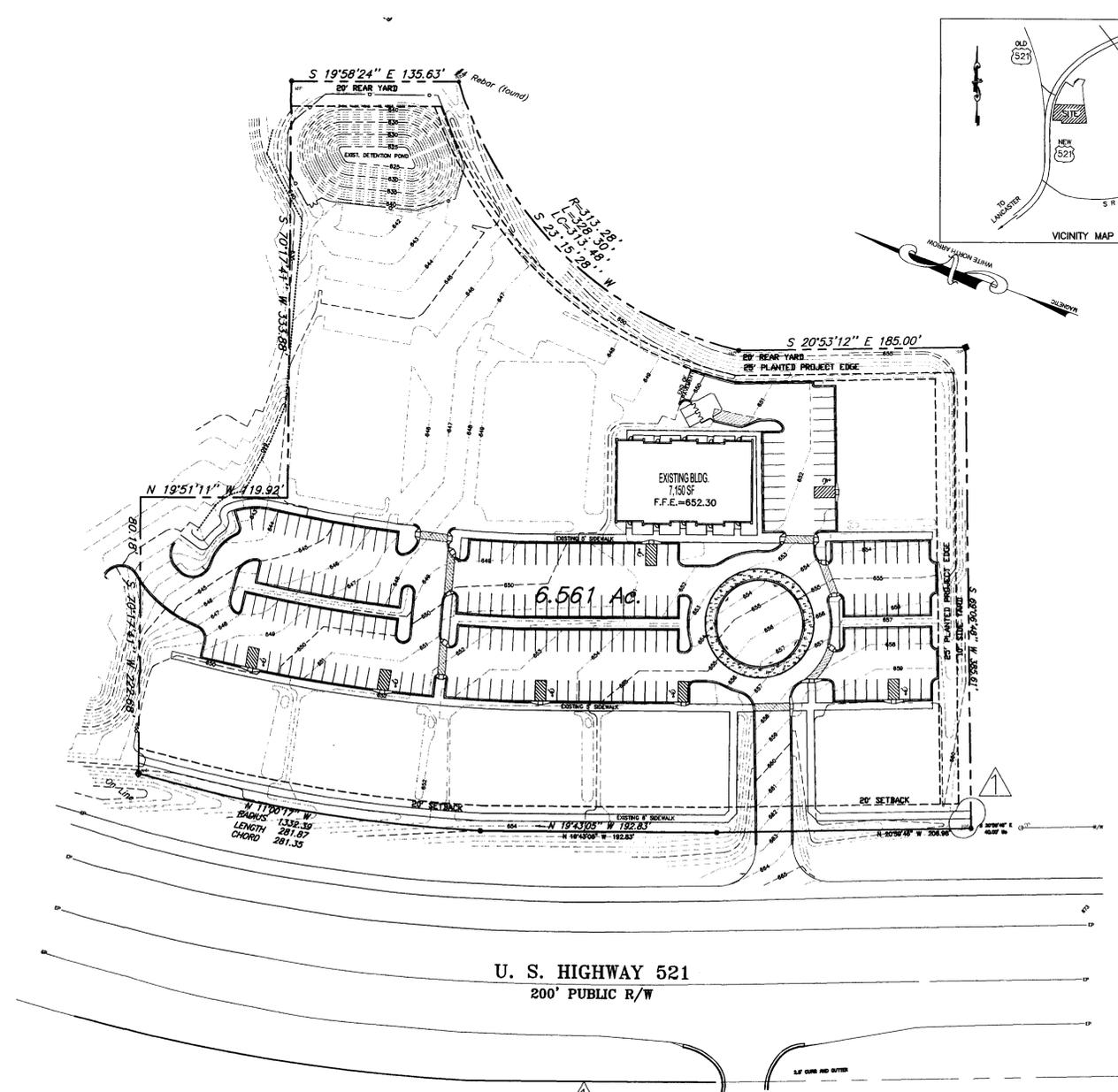


Scale: (1"=30')
 Engineer: **James J. McGovern**
 Senior Designer: **Ted W. Lawrence**
 Date: **11.18.2004**

Revisions

No	Date
No 1	Date 1.20.2005
No	Date

Dwg. No. **114026.dwg\rezoningbase**
 Project Number **144.026**
 Sheet No. **3** No. of Sheet **3**



FOR PUBLIC HEARING PETITION No. 2005-26